



Development Services Advisory Committee Meeting

**Wednesday, August 4, 2021
3:00 pm**

**2800 N. Horseshoe Dr.
Naples, FL 34104
Growth Management Department
Conference Rooms 609/610**

**If you have any questions or wish to meet with
staff, please contact
Trish Mill at 252-8214**



Development Services Advisory Committee

Agenda

Wednesday, August 4, 2021

3:00 pm

2800 N. Horseshoe Dr., Naples, FL 34104
Growth Management Building, Conference Rooms 609/610

NOTICE:

Persons wishing to speak on any Agenda item will receive up to three (3) minutes unless the Chairman adjusts the time. Speakers are required to fill out a "Speaker Registration Form", list the topic they wish to address and hand it to the Staff member before the meeting begins. Please wait to be recognized by the Chairman and speak into a microphone. State your name and affiliation before commenting. During the discussion, Committee Members may direct questions to the speaker.

Please silence cell phones and digital devices. There may not be a break in this meeting. Please leave the room to conduct any personal business. All parties participating in the public meeting are to observe Roberts Rules of Order and wait to be recognized by the Chairman. Please speak one at a time and into the microphone so the Hearing Reporter can record all statements being made.

1. Call to order - Chairman
2. Approval of Agenda
3. Approval of Minutes:
 - a. DSAC Meeting – June 2, 2021
4. Public Speakers
5. Staff Announcements/Updates
 - a. Code Enforcement Division – **[Mike Ossorio]**
 - b. Public Utilities Department – **[Eric Fey or designee]**
 - c. Growth Management Dept. Transportation Engineering Division – **[Jay Ahmad or designee]**
 - d. Collier County Fire Review – **[Shar Beddow or Shawn Hanson, Assistant Chief, Fire Marshal]**
 - e. North Collier Fire Review – **[Chief Sean Lintz or Deputy Director Daniel Zunzunegui]**
 - f. Operations & Regulatory Mgmt. Division – **[Ken Kovensky]**
 - g. Development Review Division – **[Jaime Cook]**
 - h. Zoning Division – **[Anita Jenkins or Mike Bosi]**

6. New Business
 - a. Minor updates to the County's vacation policies and procedures [**Development Review**]
 - b. Expired permits and steps for owners to resolve [**Building Permit Review & Inspection**]
 - c. GMD public portal changes and self-issuing permits [**Operations & Regulatory Management**]
 - d. Proposed amendments to the Land Development Code [**Zoning**]
 - i. LDCA-PL20210001033 – Limited Density Bonus Pool Allocation
 - ii. LDCA-PL20210001222 – Bayshore Updates
7. Old Business
8. Committee Member Comments
9. Adjourn

FUTURE MEETING DATES:

September 1, 2021 – 3:00 pm

October 6, 2021 – 3:00 pm

November 3, 2021 – 3:00 pm



Memorandum

To: Development Services Advisory Committee (DSAC)
From: Eric Johnson, Principal Planner
Date: July 28, 2021
Re: Substantive Changes After DSAC-LDR Subcommittee

This memorandum serves to advise the DSAC that changes have been made to the proposed land development code amendments subsequent to the DSAC-LDR Subcommittee (Subcommittee) meeting on June 15, 2021. The changes are highlighted in yellow within each amendment package. Some of the more significant, substantive changes that have been made to the document since the Subcommittee meeting reviewed the LDCAs are summarized as follows:

Limited Density Bonus Pool Allocation (LDCA-PL20210001033)

- Administrative code changes to Chapter 6. Waivers, Exemptions, and Reductions, which creates the application process for the Limited Density Bonus Pool Allocation (LDBPA).

Bayshore CRA (LDCA-PL20210001222)

- Pages 29, 34-35: Eliminates wood as an allowable material for fences.
- Page 33-34: Updated buffering standards for outdoor display, sales, or storage of manufactured products, raw or finished materials, boats, or vehicles.
- Page 56: Swale enclosure design now required to comply with South Florida Water Management District criteria.
- Page 61-80: Six Zoning Atlas maps are proposed to be amended, changing the zoning of six parcels along Shadowlawn Drive, from RMF-6-GTMUD-R to RMF-6-GTOZD-MXD. Conversely, this will necessitate the elimination of the 6 Zoning Atlas maps which will be replaced.

Please contact me at (239) 252-2931 or Eric.Johnson@colliercountyfl.gov if you have any questions.



LAND DEVELOPMENT CODE AMENDMENT

PETITION

PL20210001033

ORIGIN

Board of County
Commissioners (Board)

SUMMARY OF AMENDMENT

This land development code (LDC) amendment updates LDC section 4.02.16 by creating limited bonus density pool allocation provisions for the Bayshore Gateway Triangle Redevelopment Area (BGTRA). The bonus density pool allocation program, which grants additional dwelling units to qualifying projects, was originally established for the BGTRA in 2006.

HEARING DATES

BCC TBD
CCPC TBD
DSAC 08/04/2021
DSAC-LDR 06/15/2021

LDC SECTION TO BE AMENDED

01.08.01 Abbreviations
04.02.16 Design Standards for Development in the Bayshore Gateway Triangle Redevelopment Area
10.02.15 Requirements for Mixed Use Projects within the Bayshore Gateway Triangle Redevelopment Area
10.03.06 Public Notice and Required Hearings for Land Use Petitions

ADVISORY BOARD RECOMMENDATIONS

DSAC-LDR
Approval with Conditions

DSAC
TBD

CCPC
TBD

BACKGROUND

The Collier County Community Redevelopment Agency (CRA) was established on March 14, 2000, to focus on the rehabilitation, conservation, or redevelopment of two different geographic areas in the County, one of which being the Bayshore/Gateway Triangle Redevelopment Area described in Resolution 2000-83. The Board adopted the Collier County Community Redevelopment Plan (Redevelopment Plan) on June 13, 2000. Later that year, the Board adopted two ordinances, described as follows:

Ordinance 2000-87

This was an amendment that established the Bayshore/Gateway Triangle Overlay (B/GTRO) in the GMP. A maximum of 388 dwelling units was approved for the B/GTRO for density bonuses purposes. These dwelling units were derived from the then-anticipated rezoning of the botanical gardens property, which subsequently occurred in 2003, pursuant to Ordinance 2003-29.

Ordinance 2000-92

This was an amendment to the LDC that established the Bayshore Drive Mixed Use Overlay District (BMUD). In 2006, the LDC was amended to include the bonus density pool allocation provisions, pursuant to Ordinance 2006-08. These 388 bonus density units were to be used in the BMUD and the newly created Gateway Triangle Mixed Use Overlay District (GTMUD), through the mixed use project (MUP) approval process.

On May 28, 2013, the Board approved a Growth Management Plan (GMP) amendment to the B/GTRO, stipulating that no project could utilize more than 97 units or 25% of the total density pool available. Almost six years later, a major amendment to the Redevelopment Plan was made, reflecting the current conditions of the Bayshore Gateway Triangle area (Exhibit A) and updating the vision and approach to redevelopment in that area. One of the sub-issues of the Redevelopment Plan is that the built density of the BGTRA is “far below approved density” for the RMF-6 residences in the Gateway Triangle area (see Exhibit B). The Redevelopment Plan contains the density bonus pool for the purpose promoting urban-style development. The bonus density pool can be increased through allocation of residential units that are not developed. When residentially-zoned properties

are rezoned to a non-residential district, those undeveloped dwelling units can be dedicated to the bonus density pool allocation via a legally recorded instrument, restricting the property from developing dwelling units in the future. The total number of dwelling units in the program was once 388; however, as of the date of this publication, only 122 remain. The number of available units is monitored by the CRA. The proposed provisions for limited density bonus allocation units will be applicable to mixed use projects as well as multi-family residential projects.

The purpose of this LDC amendment is threefold: to replenish the pool of units, address smaller multi-family or mixed-use sites seeking one to four bonus units, and to refine eligibility criteria to provide for bonus units to provide for public realm improvements. It should be noted that an amendment to the GMP (PL20210000603) is currently being processed to ensure the Redevelopment Plan will be consistent with the GMP. As such, this LDC amendment will ensure the LDC will be consistent with the contemplated changes to the GMP by providing for the limited density bonus pool allocation provisions.

DSAC-LDR Subcommittee Recommendation

The DSAC-LDR Subcommittee recommended approval with the following changes, which have been incorporated into the amendment:

- Delete the word “approved” where it indicates “approved criteria” in LDC section 4.02.16 C.11.
- Delete the following paragraph in LDC section 4.02.16 C.12.a.iv.: Where no engineer’s Opinion of Probable Cost is available at time of SDP or plat approval, the architects estimate of value will be reviewed and approved by the County Manager or designee.
- Get clarification from County Attorney’s Office regarding LDC section 4.02.16 C.12.b.ii.

The DSAC-LDR Subcommittee did not object to any of staff’s edits that were presented at the meeting. They understood that future changes to administrative code may be forthcoming and advised that those changes could be brought directly to the DSAC.

FISCAL & OPERATIONAL IMPACTS

No fiscal impacts are anticipated. However, the workload of the Office of the Hearing Examiner can potentially increase due to the Limited Bonus Density Pool Allocation application process, resulting in an operational impact.

GMP CONSISTENCY

The proposed LDC amendment has been reviewed by Comprehensive Planning staff and may be deemed consistent with the Future Land Use Element, B/GTRO, of the GMP. This determination is based on an expectation that the companion GMPA (PL20210000603) will be adopted by the Board, along with a companion administrative code amendment providing specifics of when a TIS or consistency with access management would be required for this new process.

EXHIBITS: A) CRA Study Area in Redevelopment Plan and B) Table 5-2-1 of Redevelopment Plan; and C) Administrative Code Changes

Amend the LDC as follows:

1.08.01 – Abbreviations

ICBSD	Immokalee Central Business Subdistrict
LDBPA	Limited Density Bonus Pool Allocation
LDC	Collier County Land Development Code

#

4.02.16 - Design Standards for Development in the Bayshore Gateway Triangle Redevelopment Area

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C. Additional Standards for Specific Uses. Certain uses may be established, constructed, continued, and/or expanded provided they meet certain mitigating standards specific to their design and/or operation. These conditions ensure compatibility between land uses and building types and minimize adverse impacts to surrounding properties.

* * * * * * * * * * * * *

10. [Limited Density Bonus Pool Allocation \(LDBPA\) for multi-family or mixed use developments on two acres or less.](#)

a. [Purpose and Intent. The limited density bonus pool for smaller developments are to incentivize redevelopment and to promote investment in the public realm.](#)

b. [Eligibility. Up to two additional dwelling units per acre are allowed to be allocated to a multi-family or mixed use development through an LDBPA, subject to the following requirements and procedures:](#)

i. [The project must comply with the dimensional and design standards of the BOZD or GTOZD as applicable.](#)

ii. [The development shall be within a zoning district or overlay zoning district that permits multi-family development or mixed use development.](#)

iii. [The property shall be limited to a maximum of 2 acres. An allocation request shall not be granted for property that is subdivided after the \[effective date of Ordinance\].](#)

iv. [The maximum number of additional units shall be limited to four additional units and not exceed a density increase of two additional dwelling units per acre.](#)

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v. Development must comply with eligibility criteria in LDC 4.02.16 C.12.

vi. The Administrative Code shall establish the process and submittal requirements for an LBDPA application.

c. Public notice. Public notice, notice to property owners, and an advertised public hearing, is required and shall be provided in accordance with the applicable provisions of LDC section 10.03.06 R and Chapter 6 of the Administrative Code.

d. Evaluation criteria. The application shall be reviewed by the Hearing Examiner HEX or CCPC for compliance with the following standards of approval:

i. The proposed development is consistent with the GMP.

ii. The development shall have a beneficial effect upon the neighborhood and advance a Goal, Objective, or Strategy of the adopted Bayshore Redevelopment Plan.

iii. Internal driveways, utilities, drainage facilities, recreation areas, building heights, yards, architectural features, vehicular parking, loading facilities, sight distances, landscaping and buffers shall be adequate for the particular use involved.

iv. Vehicular access to the project shall not be gated.

v. The petition has provided compatibility enhancements by exceeding minimum buffer requirements or incorporating streetscape enhancements.

vi. Compliance with the public realm improvement requirements in LDC section 4.02.16 C.12.

11. Density Pool Allocation for developments over two acres. LDC section 10.02.15 C. provides for the process for a development to utilize the Density Pool. In addition to those criteria, the application shall also provide for:

a. Commitment that the project shall not be gated

b. Contribution to the public realm improvements in LDC section 4.02.16 C.12.

12. Public realm improvements. Any project that receives an allocation of Density Bonus Pool units requires an improvement or contribution to the public realm within the Bayshore Gateway Triangle Redevelopment Area at time of SDP or Plat approval.

1 a. Monetary Contributions will be made to CRA for the CRA's Public Art Fund
2 or Capital Project Fund, or County Capital Project fund for projects within
3 the BGT CRA boundary as follows:

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5 i. For projects that receive one to four units from the Density Bonus
6 Pool, the amount will be 3% of the engineer's Opinion of Probable
7 Cost, to be provided at time of each SDP or PPL for the project;
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9 ii. For projects that receive five to nine units from the Density Bonus
10 Pool, the amount will be 5% of the engineer's Opinion of Probable
11 Cost, to be provided at time of each SDP or PPL for the project;
12

13 iii. For projects that receive ten or more units from the Density Bonus
14 Pool, the amount will be 5% of the engineer's Opinion of Probable
15 Cost, to be provided at time of each SDP or PPL for the project,
16 plus an additional 1% of the engineer's Opinion of Probable Cost
17 for each increment of 10 Density Bonus Pool units allocated over 9
18 units; for example for 20-29 Density Bonus Pool units, the
19 calculation is 5% + 1% + 1% = 7%; or
20

21 b. As an alternative or offset to the monetary contribution of LDC section
22 4.02.16 C.12., physical improvements within the project and land or
23 easement dedications may be made to the County or the CRA provided the
24 improvement and/or land or easement is identified as a need in the adopted
25 CRA Redevelopment Plan, Public Art Master Plan, CRA Capital
26 Improvement Plan or County Capital Improvement Plans, and in
27 accordance with the following:
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29 i. The applicant's physical contribution and/or dedication of land or
30 easement will be approved by the CRA advisory board or CRA staff
31 and stated in a condition of approval as part of the public hearing
32 process required for projects seeking units from the Density Bonus
33 Pool, as a condition of approval of the SDP or plat or in a
34 developer's agreement.
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36 ii. The value of the land or easement dedication shall be the fair
37 market value determined by a real estate appraisal approved by the
38 County Manager or designee. The cost of physical improvement
39 shall be determined according to an engineer's Opinion of Probable
40 Cost, or where no engineer's Opinion of Probable Cost is available
41 the architect's estimate of value, which must be approved by the
42 County Manager or designee, and
43

44 iii. If the value of the land or easement conveyance and the cost of the
45 physical improvement is less than the required monetary
46 contribution in 12.a. above, then the applicant will pay the difference
47 as a monetary contribution to CRA for the CRA's Public Art Fund or
48 Capital Project Fund, or County Capital Project fund for projects
49 within the BGT CRA boundary.
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c. Prior to the issuance of the first certificate of occupancy for the project, the applicant shall provide evidence that the required monetary contribution has been deposited within the appropriate CRA fund, the land or public easement conveyance has been accepted by the County or CRA and recorded in the Public Records of Collier County, and/or the public realm improvement has been installed or constructed as required by developer's agreement or condition of development order approval.

13. Expiration. All Density Bonus Pool allocations shall expire five years from the date of approval if building permits for the allocated units have not be issued. Upon expiration, the units shall revert to the Density Bonus Pool.

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10.02.15 - Requirements for Mixed Use Projects within the Bayshore Gateway Triangle Redevelopment Area

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C. Bonus Density Pool Allocation. Under the Collier County Future Land Use Element, bonus density units are available for reallocation within the Bayshore/Gateway Triangle Redevelopment Overlay. The County Manager or designee will track the Bonus Density Pool balance as the units are used. These bonus density units may be allocated between the BOZD and GTOZD overlays, and shall only be allocated through a public hearing approval process.

To qualify for up to 12 dwelling units per acre, projects shall comply with the following criteria. This density of up to 12 dwelling units per acre is only applicable until the bonus density pool has been depleted.

* * * * * * * * * * * * *

5. For projects that do not comply with the requirements for this density increase, their density is limited to that allowed by the Density Rating System and applicable FLUE Policies.

6. Expiration. All Density Bonus Pool units shall expire five years from the date of approval if building permits for the allocated units have not be issued. Upon expiration, the units shall revert to the Density Bonus Pool.

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10.03.06 - Public Notice and Required Hearings for Land Use Petitions

This section shall establish the requirements for public hearings and public notices. This section shall be read in conjunction with LDC section 10.03.05 and Chapter 8 of the Administrative Code, which further establishes the public notice procedures for land use petitions.

* * * * * * * * * * * * *

- 1 R. Site Plan with Deviations for Redevelopment, pursuant to LDC section 10.02.03 F,
2 deviations in the GGPOD, pursuant to LDC section 4.02.26 E., [and the LBDPA, pursuant](#)
3 [to LDC section 4.02.16 C.10.](#)
4
- 5 1. The following advertised public hearings are required:
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7 a. One Planning Commission or Hearing Examiner hearing.
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9 b. If heard by the Planning Commission, one BZA hearing.
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- 11 2. The following notice procedures are required:
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13 a. Newspaper Advertisement prior to the advertised public hearing in
14 accordance with F.S. § 125.66.
15
16 b. Mailed Notice prior to the advertised public hearing.

Exhibit A – CRA Study Area in Redevelopment Plan

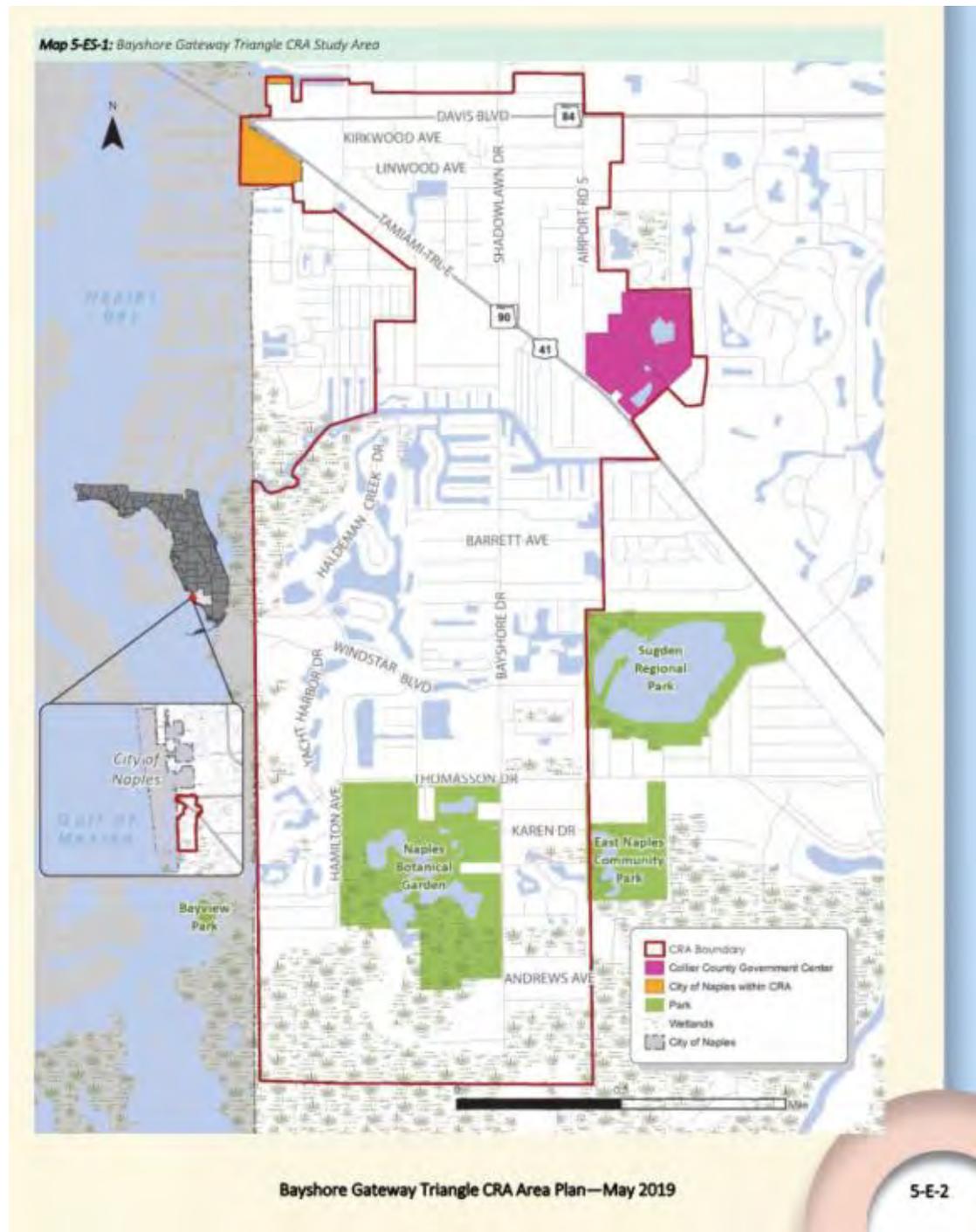


Exhibit BC – Table 5-2-1 of Redevelopment Plan

Main Issue	Sub-Issue	Specific Locations Mentioned
Predominance of defective or inadequate street layout	Inadequate street layout and design (including sub-standard street widths)	<ul style="list-style-type: none"> Shadowlawn Dr Thomasson Dr Most local streets
	Commercial parking problems	<ul style="list-style-type: none"> Davis Blvd Airport Rd Bayshore Rd US 41
	Lack of streetlights along major arterial and most local streets	<ul style="list-style-type: none"> Major arterials Most local streets Davis Blvd
	Lack of sidewalks	<ul style="list-style-type: none"> Shadowlawn Dr Bayshore Rd south of Thomasson Rd Most local streets
	Lack of neighborhood connections	<ul style="list-style-type: none"> Residential neighborhoods
Faulty lot layout in relation to size, adequacy, accessibility, or usefulness	Commercial lots	<ul style="list-style-type: none"> US 41 Davis Blvd Between Pine St and US 41
	Built density far below approved density	<ul style="list-style-type: none"> RMF-6 residences in Gateway Triangle area
	Not meeting lot standards in at least one respect	<ul style="list-style-type: none"> RMF-6 residential properties Bayshore area residences
Unsanitary or unsafe conditions	Disproportionate lack of plumbing	
	Disproportionate overcrowding	
	2 unsafe structures	
	Lack of sidewalks and streetlights	
Deterioration of site or other improvements	Poor drainage of local roads, surface water management problems	
Other problems	Lack of right-of-way for improvements along Shadowlawn Dr	
	No public transportation provided in CRA area	
	Housing affordability noted as an issue in the county and as an issue that could get worse in the CRA area	

Table 5-2-1: Findings of Blighted Conditions in CRA Area

Exhibit C – Administrative Code Changes

Collier County Land Development Code | *Administrative Procedures Manual*
Chapter 6 | Waivers, Exemptions, and Reductions

Chapter 6. Waivers, Exemptions, and Reductions

* * * * *

N. Limited Density Bonus Pool Allocation (LDBPA)

Reference LDC section 4.02.16 C. and LDC section 10.03.06 R.

Applicability Property Owners in the BOZD and GTOZD which are zoned as either multi-family or mixed use, 2 acres or less are allowed to add 2 units per acer when satisfying the criteria of LDC section 4.02.16.C.10.

Initiation The applicant files a “Limited Density Bonus Pool” application with the Planning & Zoning Division.

Pre-Application A pre-application meeting is required.

Application Contents A limited density pool application must include the following, in addition to the Application Contents and Requirements for an SDP, SDPA, or SIP. ⇔ See Chapter 4 I.2 – I.4 of the Administrative Code.

Submittal Credentials: Pursuant to LDC section 10.02.03, the engineering plans shall be signed and sealed by the applicant’s professional engineer licensed to practice in the State of Florida. For projects subject to LDC section 5.05.08, architectural drawings, shall be signed and sealed by a licensed architect, registered in the State of Florida. Landscape plans shall be signed and sealed by licensed landscape architect, registered in State of Florida.

Sheet size: The site improvement plan and the coversheet shall be prepared on a maximum size sheet measuring 24 inches by 36 inches, drawn to scale showing the areas affected by the amendment. The sheet must clearly show the change “clouded” and clearly delineate the area and scope of the work to be done.

The application must include the following:

1. A narrative of the redevelopment project and how it is consistent with the standards for approval, LDC section 4.02.16.C10.
2. Submittal of a Traffic Impact Statement.
3. Demonstrated compliance with the County’s access management policies.

Notice Notification requirements are as follows. ⇔ See *Chapter 8 of the Administrative Code for additional notice information.*

1. Mailed Notice: Written notice shall be sent to **property owners in the notification area** at least 15 days before the first advertised hearing.

2. Newspaper Advertisement: The legal advertisement shall be published at least 15 days before each advertised hearing in a newspaper of general circulation. The advertisement shall include at a minimum:

- a. Date, time, and location of the hearing;**

Exhibit C – Administrative Code Changes

Collier County Land Development Code | *Administrative Procedures Manual*

Chapter 6 | *Waivers, Exemptions, and Reductions*

b. Application number and project name;

c. 2 in. x 3 in. map of project location; and

d. Description of location.

Public Hearing The Hearing Examiner or Planning Commission shall hold at least 1 advertised public hearing. ⇔ See Chapter 9 of the Administrative Code for the Office of the Hearing Examiner procedures.

If the petition is heard by the Planning Commission, one BZA hearing is required.

Decision maker The Hearing Examiner or BZA.

Review Process The Zoning Division will review the application and identify whether additional materials are needed. Staff will prepare a Staff Report utilizing the criteria established in LDC section 4.02.16 C.10.d. to present to the decision maker.



LAND DEVELOPMENT CODE AMENDMENT

PETITION

PL20210001222

ORIGIN

Board of County
Commissioners (Board)

SUMMARY OF AMENDMENT

This land development code (LDC) amendment updates multiple LDC sections by updating the uses and standards for properties located within the Bayshore Gateway Triangle Redevelopment Area (BGTRA).

HEARING DATES

BCC TBD
CCPC TBD
DSAC 08/04/2021
DSAC-LDR 06/15/2021

LDC SECTION TO BE AMENDED

1.08.01 Abbreviations
1.08.02 Definitions
2.03.07 Overlay Zoning Districts
2.05.01 Density Standards and Housing Types
4.02.16 Design Standards for Development in the Bayshore Gateway Triangle Redevelopment Area
4.02.17- Reserved.
4.02.21
4.02.35, Reserved.
4.02.36
10.02.15 Requirements for Mixed Use Projects within the Bayshore Gateway Triangle Redevelopment Area
10.03.06 Public Notice and Required Hearings for Land Use Petitions

CODE OF ORDINANCES SECTION TO BE AMENDED

110-30 Enclosure of swales.

ADVISORY BOARD RECOMMENDATIONS

DSAC-LDR
TBD

DSAC
TBD

CCPC
TBD

BACKGROUND

The Collier County Community Redevelopment Agency (CRA) was established on March 14, 2000, to focus on the rehabilitation, conservation, or redevelopment of two different geographic areas in the County, one of which being the Bayshore/Gateway Triangle Redevelopment Area described in Resolution 2000-83. The Board adopted the Collier County Community Redevelopment Plan (Redevelopment Plan) on June 13, 2000. Later that year, the Board adopted two ordinances, described as follows:

Ordinance 2000-87

This was an amendment that established the Bayshore/Gateway Triangle Overlay (B/GTRO) in the GMP. A maximum of 388 dwelling units was approved for the B/GTRO for density bonuses purposes. These dwelling units were derived from the then-anticipated rezoning of the botanical gardens property, which subsequently occurred in 2003, pursuant to Ordinance 2003-29.

Ordinance 2000-92

This was an amendment to the LDC that established the Bayshore Drive Mixed Use Overlay District (BMUD). In 2006, the LDC was amended to include the bonus density pool allocation provisions, pursuant to Ordinance 2006-

08. These 388 bonus density units were to be used in the BMUD and the newly created Gateway Triangle Mixed Use Overlay District (GTMUD), through the mixed use project (MUP) approval process.

A major amendment to the Redevelopment Plan was made on April 23, 2019, pursuant to Resolution 2019-75, reflecting the current conditions of the Bayshore Gateway Triangle area (Exhibit A) and updating the vision and approach to redevelopment in that area. The purpose of this LDC amendment is to update the provisions in the BMUD and GTMUD. The Bayshore Mixed Use Overlay District (BMUD) will be renamed to the Bayshore Overlay Zoning District (BOZD) and the Gateway Triangle Mixed Use District (GTMUD) will be renamed to the Gateway Triangle Overlay Zoning District (GTOZD). Other updates include but are not limited to the following: placing restrictions on prohibited uses; allowing accessory structures in the front yard (under certain circumstances); and prioritizing alleys as the primary access for loading/service functions. New standards are created to address the following: vehicular and pedestrian connections in mixed use projects; outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment; commercial and fleet vehicle parking; overhead bay doors; required architectural features for single-family dwellings; garage doors; massing and scale; mobile homes; off-street parking standards for marinas/boatyards and the outdoor display and outdoor sales of boats/vehicles/construction materials and equipment; and right-of-way (swale) improvements.

DSAC-LDR Subcommittee Recommendation

The DSAC-LDR Subcommittee recommended approval with the following changes, which have been incorporated into the amendment:

- On page 20, remove the stricken (but underlined) text on line 40.
- On page 28, reword LDC section 4.02.16 C.7.g., to encourage alleys to be designated as the primary access unless there are physical constraints that preclude the use of the alley. This language should be duplicated to the other applicable sections of the LDC.
- On page 31, correct the paragraph heading by removing the duplicate “f.” in LDC section 4.02.16 C.11., and insert the updated language from LDC section 4.02.16 C.7.g. in this section (and wherever else that is applicable).

The DSAC-LDR Subcommittee did not object to any of staff’s edits that were presented at the meeting.

FISCAL & OPERATIONAL IMPACTS

No fiscal impacts are anticipated.

GMP CONSISTENCY

The proposed LDC amendment has been reviewed by Comprehensive Planning staff and may be deemed consistent with the Future Land Use Element, B/GTRO, of the GMP. This determination is based on an expectation that the companion GMPA (PL20210000603) will be adopted by the Board.

EXHIBITS: A) Changes to Zoning Atlas Maps; B) Resolution 2019-75 (see separate PDF)

DRAFT

Text underlined is new text to be added

~~Text strikethrough is current text to be deleted~~

Amend the LDC as follows:

1.08.01 – Abbreviations

* * * * *

BFE	Base Flood Elevation
BOZDBMUD	Bayshore <u>Overlay Zoning</u> Mixed-Use District
BP	Business Park Zoning District

* * * * *

GT	Gopher Tortoise
GTOZDGMTUD	Gateway Triangle <u>Overlay Zoning</u> Mixed-Use District
GIS	Geographic information system

#

1.08.02 – Definitions

Mixed use project approval process: A process by which a land owner may petition for approval of a mixed use project — a mix of commercial and residential uses, as provided for in certain zoning overlay districts. If located within certain subdistricts in the Bayshore ~~Drive-Mixed Use~~ Overlay Zoning District or the Gateway Triangle ~~Mixed-Use~~ Overlay Zoning District, such a petition may include a request for increased density by use of ~~bonus~~ density bonus pool allocation units.

2.03.07 – Overlay Zoning Districts

* * * * *

I. Bayshore ~~Mixed-Use~~ Overlay Zoning District (~~BMUD~~BOZD). This section provides special conditions for the properties adjacent to Bayshore Drive as identified by the designation "~~BMUD~~BOZD" on the applicable official Collier County Zoning Atlas Map or map series.

1. Purpose and Intent. The purpose and intent of this District is to encourage revitalization of the Bayshore Drive portion of the Bayshore Gateway Triangle Community Redevelopment Area (BGTCRA) with pedestrian-oriented, interconnected projects. The Overlay encourages uses that support pedestrian activity, including a mix of residential, civic and commercial uses that complement each other and provide for an increased presence and integration of the cultural arts and related support uses. When possible buildings, both commercial and residential, are located near the street, and may have front porches and/or balconies.

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- 2. Applicability.
 - a. These regulations shall apply to the Bayshore ~~Mixed-Use~~ Overlay District as identified by the designation "BMUDBOZD" on the applicable official Collier County Zoning Atlas Maps.
 - b. Planned Unit Developments (PUDs) that existed prior to March 3, 2006, and properties with Provisional Uses (PU) approved prior to March 3, 2006, including amendments or boundary changes to these PUDs and Provisional Use properties, are not subject to the ~~Bayshore Overlay District~~BOZD requirements.

- 3. Relationship to the Underlying Zoning Classification and the GMP ~~Collier County Growth Management Plan~~.
 - a. The purpose of the BMUDBOZD is to fulfill the goals, objectives and policies of the ~~Collier County Growth Management Plan (GMP)~~, as may be amended. Specifically, the BMUDBOZD implements the provisions of section V.F, Bayshore Gateway Triangle Redevelopment Overlay, of the ~~Future Land Use Element~~FLUE. Portions of the ~~Bayshore Overlay District~~BOZD coincide with Mixed Use Activity Center #16 designated in the ~~Future Land Use Element (FLUE) of the Collier County GMP~~. Development in the activity center is governed by requirements of the underlying zoning district and the mixed use activity center subdistrict requirements in the FLUE, except for site development standards as stated in LDC section 4.02.16 ~~of the LDC~~.
 - b. Property owners within the BOZD ~~BMUD~~ may establish uses, densities, and intensities in accordance with the LDC regulations of the underlying zoning classification, except as restricted in LDC section 2.03.07 I.4.b.iv., or in accordance with ~~or may elect to develop/redevelop under~~ the provisions of the applicable BOZD ~~BMUD~~ Subdistrict. In either instance, however, the BMUDBOZD site development standards as provided for in LDC section 4.02.16 shall apply.

- 4. Bayshore Overlay Zoning District (BOZD) ~~Mixed-Use District (BMUD)~~ Subdistricts.
 - a. The BMUD consists of the following subdistricts:
 - i. Neighborhood Commercial Subdistrict (~~BMUDBOZD~~-NC). The purpose and intent of this subdistrict is to encourage a mix of low intensity commercial and residential uses, including mixed use projects in a single building. This subdistrict provides for an increased presence and integration of the cultural arts and related

1 support uses, including galleries, artists' studios, and live-work
2 units. Developments will be human-scale and pedestrian-oriented.

3
4 ii. Waterfront Subdistrict (~~BMUD~~BOZD-W). The purpose of this
5 subdistrict is to encourage a mix of low intensity commercial and
6 residential uses and allow maximum use of the waterfront for
7 entertainment while enhancing the area for use by the general
8 public. Development in this subdistrict is intended to allow a mix of
9 residential and commercial uses including limited marina and
10 boatyard uses.

11
12 iii. Residential Subdistrict 1 (~~BMUD~~BOZD-R1). The purpose of this
13 subdistrict is to encourage the development of a variety of housing
14 types which are compatible with existing neighborhoods and allow
15 for building additions such as front porches. The intent in new
16 development is to encourage a traditional neighborhood design
17 pattern and create a row of residential units with uniform front yard
18 setbacks and access to the street.

19
20 iv. Residential Subdistrict 2 (~~BMUD~~BOZD-R2). The purpose of this
21 subdistrict is to allow for a variety of housing types and encourage
22 the development of multi-family residences as transitional uses
23 between commercial and single-family development. The multi-
24 family buildings shall be compatible with the building patterns of
25 traditional neighborhood design.

26
27 v. Residential Subdistrict 3 (~~BMUD~~BOZD-R3). The purpose of this
28 subdistrict is to allow for a variety of housing types and encourage
29 the development of townhouses and single-family dwellings. All
30 new development in this subdistrict shall be compatible with the
31 building patterns of traditional neighborhood design.

32
33 vi. Residential Subdistrict 4 (~~BMUD~~BOZD-R4). The purpose of this
34 subdistrict is to protect the character of existing neighborhoods
35 comprised of detached single-family dwelling units, while allowing
36 for building additions such as front porches.

37
38 b. Use Categories and Table of Uses.

39
40 i. All uses permitted in the ~~BMUD~~BOZD subdistricts have been
41 divided into ~~9~~ eight general categories, which are summarized
42 below:
43

- 1 a) Residential: Premises available for long-term human
- 2 habitation by means of ownership and rental, but excluding
- 3 short-term leasing or rental of less than one month's
- 4 duration.
- 5
- 6 b) Lodging: Premises available for short-term human
- 7 habitation, including daily and weekly rental.
- 8
- 9 c) Office and Service: Premises available for the transaction of
- 10 general business and the provision of services, but
- 11 excluding retail sales and manufacturing, except as a
- 12 minority component.
- 13
- 14 d) Retail and Restaurant: Premises available for the
- 15 commercial sale of merchandise, prepared foods, and food
- 16 and drink consumption, but excluding manufacturing.
- 17
- 18 e) Entertainment and Recreation: Premises for the gathering
- 19 of people for purposes such as arts and culture,
- 20 amusement, and recreation.
- 21
- 22 f) Manufacturing, Wholesale and Storage: Premises available
- 23 for the creation, assemblage, storage, and repair of items
- 24 including their wholesale or retail sale.
- 25
- 26 g) Civic and Institutional: Premises available for organizations
- 27 dedicated to religion, education, government, social service,
- 28 and other similar functions.
- 29
- 30 h) Infrastructure: Uses and structures dedicated to
- 31 transportation, communication, information, and utilities,
- 32 including Essential Services.
- 33
- 34 ii. Interpretation of the Table of Uses.
- 35
- 36 a) The Table of Uses identifies uses as permitted uses (P);
- 37 accessory uses (A); conditional uses (CU), or a combination
- 38 of the three. Blank cells indicate that a use is not allowed in
- 39 the corresponding subdistrict; however, such use may be
- 40 permitted by the underlying zoning designation.
- 41
- 42 b) Any use not listed in the Table of Uses is prohibited unless
- 43 the County Manager or designee may determine that it falls

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within the same class as a listed use through the process outlined in LDC section 1.06.00, Rules of Interpretation.

- c) Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the BMUDBOZD-NC and BMUDBOZD-W subdistricts, and subject to the MUP approval process as outlined in ~~Section~~ LDC section 10.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning, except as restricted in LDC section. 2.03.07 I.4.b.iv., or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in LDC section 4.02.16.

iii. Table of Uses.

Table 1. Table of Uses for the ~~Bayshore Mixed-Use District Overlay Zoning~~ BOZD Subdistricts

USE TYPE	<u>BMUDBOZD</u> SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED USE		
	R1	R2	R3	R4	NC	W	
<i>a) RESIDENTIAL</i>							
1) Dwelling, Single-Family	P	P	P	P	P		
2) Dwelling, Duplex	P	P	P				
3) Dwelling, Two-Family	P	P	P		P	P	
4) Dwelling, Rowhouse	P	P	P		P	P	
5) Dwelling, Multi-Family (3 or more)	P	P	P		P	P	
6) Dwelling, Mobile Home			P*				*If allowed by underlying zoning
7) Home Occupations	A	A	A	A	A	A	5.02.03
8) Live-Work Units			CU		P	P	4.02.16 C.6.
9) Artist Village	CU	CU	CU		P	P	4.02.16 C.3.
<i>b) LODGING</i>							
1) Bed & Breakfast Facilities			CU		CU	CU	4.02.16 C.4.
2) Hotels and Motels					P	P	
<i>c) OFFICE/SERVICE</i>							
1) Banks, Credit Unions, Financial Services					P		
2) Business Support Services					P	P	
3) Child Care Services	CU	CU	CU		CU	CU	
4) Community Service Organization					P	P	
5) Drive Thru Service (banks)							
6) Government Services					P	P	
7) Family Care Facility/Nursing Home					P	P	

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USE TYPE	BOZD SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED-USE		
	R1	R2	R3	R4	NC	W	
c) OFFICE/SERVICE <i>continued</i>							
8) Medical Services - Doctor Office					P	P	
9) Medical Services - Outpatient/Urgent Care					P		
10) Personal Care Services					P	P	
11) Post Office					P	P	
12) Professional Office or Service					P	P	
13) Rental Services - Equipment/Vehicles					P	P	
14) Studio - Art, Dance, Martial Arts, Music					P	P	
15) Studio - Motion Picture					CU		
16) Vehicle Services - Maintenance/Repair							
17) Veterinarians Office					P	P	
18) Video Rental					P	P	
d) RETAIL/ RESTAURANTS							
1) Auto Parts Sales							
2) Bars/Tavern/Night Club					P	P	
3) Drive Thru Retail/Restaurant							
4) Gas Station with Convenience Store					P	P	5.05.05
5) Neighborhood Retail - <2,000 sf					P	P	
6) General Retail - <15,000 sf					P	P	
7) General Retail - >15,000 sf					CU	CU	
8) Restaurant					P	P	
9) Shopping Center					CU	CU	
10) Vehicle/ Boat /Heavy Equipment Sales						CU	4.02.16 C.7.
<u>11) Boat Sales</u>						CU	4.02.16 C.7.
e) ENTERTAINMENT/RECREATION							
1) Gallery / Museum					P	P	
2) Meeting Facility					P	P	
3) Cultural or Community Facility					P	P	
4) Theater, Live Performance					P	P	
5) Theater, Movie					CU	CU	
6) Recreation Facility, Indoor					P	P	
7) Recreation Facility, Outdoor					CU	CU	
8) Amusements, Indoor					P	P	
9) Amusements, Outdoor					CU	CU	
10) Community Garden	P	P	P	P	P	P	4.02.16 C.5.
f) MANUFACTURING/WHOLESALE/STORAGE							
1) Laboratory - Medical, analytical, research					P		
2) Laundries and Dry Cleaning					P		
3) Media Production					P		
4) Metal Products Fabrication					P		
5) Mini-Warehouses							

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USE TYPE	BOZD SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED-USE		
	R1	R2	R3	R4	NC	W	
f) MANUFACTURING/WHOLESALE/STORAGE <i>continued</i>							
6) Repair Shops					P	P	
7) Research and Development					P	P	
8) Storage - Outdoor					A		4.02.16 C.911.
9) Storage - Warehouse							
g) CIVIC INSTITUTIONAL							
1) College/University					P	P	
2) Educational Plant	P	P	P	P	P	P	
3) Hospital							
4) Membership Organizations					P	P	
5) Public Safety Facility					CU	CU	
6) Religious Institution	CU	CU	CU	CU	CU	CU	
7) Schools - Elementary and Secondary							
8) Schools - Vocational and Technical							
h) INFRASTRUCTURE							
1) Automobile Parking Facilities					CU		
2) Boat Launch						A	
3) Essential Services	P	P	P	P	P	P	
4) Marinas and Boatyards					P	P	4.02.16 C.7.
5) Transit Station							
6) Wireless Telecommunication Facility							

~~Note: The Table of Uses identifies uses as permitted uses (P); accessory uses (A); conditional uses (CU), or a combination of the three.~~

~~Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.~~

~~Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the BMUD-NC and BMUD-W subdistricts, and subject to the MUP approval process as outlined in section 10.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in section 4.02.16.~~

iv. Prohibited uses. These uses are prohibited, except that existing as of [effective date of Ordinance] may continue to operate as a permitted use until the use ceases for a period of one year. Restriction on establishing of or changing to certain uses. The establishment of a new permitted use, or a change in use from one permitted use to another permitted use, is allowed per underlying commercial zoning districts, with exception of the prohibited uses

~~listed below. For such use existing as of [effective date of Ordinance], the use may continue to operate as identified within LDC section 9.03.00-Nonconformities.~~

a) Prohibited uses in C-2, C-3, C-4, and C-5 zoning districts. For purposes of this section, outdoor display, outdoor sales, and the outdoor storage of vehicles, construction material, or, equipment on a lot that is less than 30,000 square feet is prohibited within the BOZD or underlying zoning districts if zoned C-2, C-3, C-4, or C-5.

b) Prohibited uses in the C-4 zoning district. For purposes of this section, the following use is also prohibited within the BOZD and underlying zoning district if zoned C-4:

1) Repair shops and services, not elsewhere classified (7699) – Boiler repair shops except manufacturing, Sewer cleaning and rodding, Tank and boiler cleaning service, and Tank truck cleaning service.

c) Prohibited uses in the C-5 zoning district. For purposes of this section the following list of uses shall be prohibited within the BOZD and underlying zoning district if zoned C-5:

1) Equipment rental and leasing (7359) – Industrial truck and portable toilet.

2) Mobile home dealers (5271).

3) Motor freight transportation and warehousing (4225) - Mini- and self-storage warehousing.

4) Recreational vehicle dealers (5561).

5) Repair shops and services, not elsewhere classified (7699) – Boiler cleaning, Boiler repair shops, Cesspool cleaning, Industrial truck repair, Septic tank cleaning service, Sewer cleaning and rodding, Tank and boiler cleaning service, and Tank truck cleaning service.

6) Truck rental and leasing, without drivers (7513).

7) Utility trailer and recreational vehicle rental (7519).

1
2 * * * * *

3
4 N. Gateway Triangle ~~Mixed-Use~~ Overlay Zoning District (~~GTMUD~~GTOZD). This section
5 contains special conditions for the properties in and adjacent to the Gateway Triangle as
6 identified by the designation "~~GTMUD~~GTOZD" on the applicable official Collier County
7 Zoning Atlas Map or map series.

8
9 1. Purpose and Intent. The purpose and intent of this District is to encourage
10 revitalization of the Gateway Triangle portion of the Bayshore Gateway Triangle
11 Community Redevelopment Area (BGTCRA) with human-scale, pedestrian-
12 oriented, interconnected projects that are urban in nature and include a mix of
13 residential types and commercial uses. Development in this District should
14 encourage pedestrian activity through the construction of mixed-use buildings, an
15 interconnected street system, and connections to adjacent neighborhoods. When
16 possible, buildings are located near the street with on street parking and off street
17 parking on the side or in the rear of the parcel.

18
19 This District is intended to: revitalize the commercial and residential development;
20 promote traditional urban design; encourage on-street parking and shared parking
21 facilities; provide appropriate landscaping and buffering; and protect and enhance
22 the Shadowlawn residential neighborhood.

23
24 2. Applicability.
25
26 a. These regulations shall apply to the Gateway Triangle ~~Mixed-Use~~ Overlay
27 Zoning District as identified by the designation "~~GTMUD~~GTOZD" on the
28 applicable official Collier County Zoning Atlas Maps.
29
30 b. Planned Unit Developments (PUDs) that existed prior to March 3, 2006,
31 and properties with Provisional Uses (PU) approved prior to March 3, 2006,
32 including amendments or boundary changes to these PUDs and
33 Provisional Use properties, are not subject to the ~~Gateway Triangle Mixed~~
34 ~~Use District~~GTOZD requirements.

35
36 3. Relationship to the Underlying Zoning Classification and Collier County Growth
37 Management Plan.
38
39 a. The purpose of the ~~GTMUD~~GTOZD is to fulfill the goals, objectives and
40 policies of the ~~Collier County Growth Management Plan (GMP)~~, as may be
41 amended. Specifically, the ~~GTMUD~~GTOZD implements the provisions of
42 section V.F, Bayshore Gateway Triangle Redevelopment Overlay, of the
43 Future Land Use Element. Portions of the ~~Gateway Triangle Mixed-Use~~
44 ~~District~~GTOZD that coincide with Mixed Use Activity Center #16 as

1 designated in the FLUE of the ~~Collier County~~ GMP. Development
2 standards in the activity center is governed by requirements of the
3 underlying zoning district requirements and the mixed use activity center
4 subdistrict requirements in the FLUE, except for site development
5 standards as stated in LDC section 4.02.16 ~~of the Collier County Land~~
6 ~~Development Code (LDC).~~

7
8 b. Property owners may establish uses, densities and intensities in
9 accordance with the existing LDC regulations of the underlying zoning
10 classification, or may elect to develop/redevelop under the provisions of the
11 applicable GTMUDGTOZD Subdistrict. In either instance, the
12 GTMUDGTOZD site development standards as provided for in LDC section
13 4.02.16 shall apply.

14
15 4. Gateway Triangle ~~Mixed-Use~~Overlay Zoning District (GTMUDGTOZD)
16 Subdistricts.

17
18 a. The Gateway Triangle Overlay Zoning ~~Mixed-Use~~ District consists of the
19 following subdistricts:

20
21 i. Mixed Use Subdistrict (GTMUDGTOZD-MXD). The purpose and
22 intent of this subdistrict is to provide for pedestrian-oriented
23 commercial and mixed use developments and higher density
24 residential uses. Developments will reflect traditional neighborhood
25 design building patterns. Individual buildings are encouraged to be
26 multi-story with uses mixed vertically, with street level commercial
27 and upper level office and residential. Included in this District is the
28 "mini triangle" formed by US 41 on the South, Davis Boulevard on
29 the North and Commercial Drive on the East, which is intended to
30 serve as an entry statement for the Bayshore Gateway Triangle
31 CRA and a gateway to the City of Naples.

32
33 ii. Residential Subdistrict (GTMUDGTOZD-R). The purpose of this
34 subdistrict is to encourage the continuation and revitalization of the
35 Shadowlawn neighborhood. The subdistrict provides for a variety of
36 compatible residential housing types and a limited mix of non-
37 residential uses in a walkable context.

38
39 b. Use Categories and Table of Uses.

40
41 i. All uses permitted in the GTMUDGTOZD subdistricts have been
42 divided into ~~nine~~eight general categories, which are summarized
43 below:
44

- 1 a) Residential: Premises available for long-term human
- 2 habitation by means of ownership and rental, but excluding
- 3 short-term leasing or rental of less than one month's
- 4 duration.
- 5
- 6 b) Lodging: Premises available for short-term human
- 7 habitation, including daily and weekly rental.
- 8
- 9 c) Office and Service: Premises available for the transaction of
- 10 general business and the provision of services, but
- 11 excluding retail sales and manufacturing, except as a
- 12 minority component.
- 13
- 14 d) Retail and Restaurant: Premises available for the
- 15 commercial sale of merchandise, prepared foods, and food
- 16 and drink consumption, but excluding manufacturing.
- 17
- 18 e) Entertainment and Recreation: Premises for the gathering
- 19 of people for purposes such as arts and culture,
- 20 amusement, and recreation.
- 21
- 22 f) Manufacturing, Wholesale and Storage: Premises available
- 23 for the creation, assemblage, storage, and repair of items
- 24 including their wholesale or retail sale.
- 25
- 26 g) Civic and Institutional: Premises available for organizations
- 27 dedicated to religion, education, government, social service,
- 28 and other similar functions.
- 29
- 30 h) Infrastructure: Uses and structures dedicated to
- 31 transportation, communication, information, and utilities,
- 32 including Essential Services.
- 33
- 34 ii. Interpretation of the Table of Uses.
- 35
- 36 a) Any uses not listed in the Table of Uses are prohibited. In
- 37 the event that a particular use is not listed in the Table of
- 38 Uses, the County Manager or designee may determine that
- 39 it falls within the same class as a listed use through the
- 40 process outlined in LDC section 1.06.00, Rules of
- 41 Interpretation.
- 42
- 43 b) The Table of Uses identifies uses as permitted uses (P);
- 44 accessory uses (A); conditional uses (CU), or a combination

of the three. Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.

c) Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the ~~GTMUD~~GTOZD-MXD subdistrict, and subject to the MUP approval process as outlined in LDC section 10.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in LDC section 4.02.16.

iii. Table of Uses.

Table 2. Table of Uses for the ~~Gateway Triangle Mixed Use Overlay Zoning District~~ GTOZD Subdistricts

USE TYPE	GTMUD <u>GTOZD</u> SUBDISTRICTS		ADDITIONAL STANDARDS
	<u>RESIDENTIAL</u>	MXD <u>MIXED USE</u>	
<i>a) RESIDENTIAL</i>			
1) Dwelling, Single-Family	P	P	
2) Dwelling, Duplex	P	P	
3) Dwelling, Two-Family	P	P	
4) Dwelling, Rowhouse	P	P	
5) Dwelling, Multi-Family (3 or more)	P	P	
6) Dwelling, Mobile Home	P*		*If permitted by underlying zoning
7) Guesthouse	A	A	5.05.04 and 4.02.16 C.2.
8) Home Occupations	A	A	5.02.03
9) Live-Work Units	CU	P	4.02.16 C.6.
10) Artist Village	CU	P	4.02.16 C.3.
<i>b) LODGING</i>			
1) Bed & Breakfast Facilities	CU	CU	4.02.16 C.4.
2) Hotels and Motels		P	
<i>c) OFFICE/SERVICE</i>			
1) Banks, Credit Unions, Financial Services		P	
2) Business Support Services		P	
3) Child Care Services	CU	CU	
4) Community Service Organization		P	
5) Government Services		P	
6) Family Care Facility/Nursing Home		CU	

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USE TYPE	GTOZD SUBDISTRICTS		ADDITIONAL STANDARDS
	RESIDENTIAL	MIXED USE	
<i>c) OFFICE/SERVICE continued</i>			
7) Medical Services - Doctor Office		P	
8) Medical Services - Outpatient/Urgent Care		P	
9) Personal Care Services		P	
10) Post Office		P	
11) Professional Office or Service		P	
12) Rental Services - Equipment/Vehicles		P	
13) Studio - Art, Dance, Martial Arts, Music		P	
14) Studio - Motion Picture		CU	
15) Vehicle Services - Maintenance/Repair		CU	
16) Veterinarians Office		P	
17) Video Rental		P	
<i>d) RETAIL/ RESTAURANTS</i>			
1) Auto Parts Sales		P	
2) Bars/Tavern/Night Club		P	
3) Drive Thru Retail/Restaurant		P	
4) Gas Station with Convenience Store		P	5.05.05
5) Neighborhood Retail - <2,000 sf		P	
6) General Retail - <15,000 sf		P	
7) General Retail - >15,000 sf		P	
8) Restaurant		P	
9) Shopping Center		CU	
10) Vehicle/Boat/Heavy Equipment Sales		P	
<i>e) ENTERTAINMENT/RECREATION</i>			
1) Gallery / Museum		P	
2) Meeting Facility	CU	P	
3) Cultural or Community Facility	CU	P	
4) Theater, Live Performance		P	
5) Theater, Movie		CU	
6) Recreation Facility, Indoor		P	
7) Recreation Facility, Outdoor	CU	CU	
8) Amusements, Indoor		P	
9) Amusements, Outdoor	CU	CU	
10) Community Garden	P	P	4.02.16 C.5.
<i>f) MANUFACTURING/WHOLESALE/STORAGE</i>			
1) Boat Yards		CU	<u>4.02.16 C.7.</u>
2) Laboratory - Medical, analytical, research		P	
3) Laundries and Dry-cleaning		P	
4) Media Production		P	
5) Metal Products Fabrication		CU	
6) Mini-Warehouses			
7) Repair Shops		P	
8) Research and Development		P	

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USE TYPE	GTOZD SUBDISTRICTS		ADDITIONAL STANDARDS
	RESIDENTIAL	MIXED USE	
<u>f) MANUFACTURING/WHOLESALE/STORAGE continued</u>			
9) Storage – Outdoor		CU	4.02.16 C.911.
10) Storage - Warehouse		P	
11) Lawn and Garden Services in conjunction with a Nursery		CU	
<u>g) CIVIC/INSTITUTIONAL</u>			
1) College/University		CU	
2) Educational Plant	P	P	
3) Hospital		CU	
4) Membership Organizations		P	
5) Public Safety Facility		CU	
6) Religious Institution	CU	CU	
7) Schools - Elementary and Secondary	P		
8) Schools - Vocational and Technical	CU		
<u>h) INFRASTRUCTURE</u>			
1) Automobile Parking Facilities		P	
2) Boat Launch			
3) Essential Services	P	P	
4) Marinas		P	
5) Transit Station		CU	
6) Wireless Telecommunication Facility		CU	

~~Note: The Table of Uses identifies uses as permitted uses (P); accessory uses (A); conditional uses (CU), or a combination of the three.~~

~~Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.~~

~~Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the BMUD-NC and BMUD-W subdistricts, and subject to the MUP approval process as outlined in section 10.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in section 4.02.16.~~

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2.05.01 – Density Standards and Housing Types

A. Where residential uses are allowable, the following density standards and housing type criteria shall apply.

* * * * *

BOZD BMUD	S	S	S	S								12
GTOZD GTMUD	S	S	S	S								12

* * * * *

¹² Maximum allowable density in the ~~BOZD~~~~BMUD~~ and ~~GTOZD~~~~GTMUD~~ overlays is attained through the Mixed Use Project (MUP). Approval Process pursuant to the regulations in the Overlays.

#

4.02.16 - Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

A. Dimensional and Design Standards for the ~~BMUD~~BOZD.

1. Neighborhood Commercial Subdistrict (~~BMUD~~BOZD-NC).

a. Specific District Provisions:

i. Maximum Density: 12 units per acre comprised of density allowed by the underlying zoning district and available density bonuses.

ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in LDC section 4.02.16 D., Building Types and Architectural Standards.

Table 1. Dimensional Requirements in the ~~BMUD~~BOZD-NC

	House ¹	Rowhouse ²	Apartment	Mixed-Use	Commercial	Civic & Institutional
Min. Lot Width (ft)	50	25 ³	100	100	100 ⁵	100
Min. Front Yard (ft)	10	10	10	5	5	10
Max. Front Yard (ft)	20	15	20	20	20	20
Min. Side Yard (ft)	5	5	5	5	5	10
Min. Rear Yard (ft)	15	15	20	20	20	20
Waterfront Yard (ft)	25	25	25	25	25	25
Min. Floor Area (sq ft)	700	700	700 per unit ⁶	700 per unit ⁶	700 per unit ⁶	n/a
Min. Building Separation	n/a	n/a	10	10	10	10
Max. Building Height (ft) ⁴	42	42	42	56	56	42

Notes:

¹ See 4.02.16.A.7 regarding Duplexes.

² See 4.02.16.A.7 regarding Two-Family Dwellings.

³ Applies to individual unit.

⁴ Zoned Height of Building.

⁵ Property zoned C-3 shall have a minimum lot width of 75 feet.

⁶ Not applicable to guest rooms in hotels.

2. Waterfront Subdistrict (~~BMUD~~BOZD-W).

a. Specific District Provisions:

i. Maximum Density: 12 units per acre comprised of density allowed by the underlying zoning district and available density bonuses.

ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in LDC section 4.02.16 D., Building Types and Architectural Standards.

Table 2. Dimensional Requirements in the ~~BMUD~~BOZD-W

	House ¹	Rowhouse ²	Apartment	Mixed-Use	Commercial	Civic & Institutional
Min. Lot Width (ft)	50	25 ³	100	100	100 ⁵	100
Min. Front Yard (ft)	10	10	10	5	5	10
Max. Front Yard (ft)	20	15	20	20	20	20
Min. Side Yard (ft)	5	5	5	5	5	10
Min. Rear Yard (ft)	15	15	20	20	20	20
Waterfront Yard (ft)	25	25	25	25	25	25
Min. Floor Area (sq ft)	700	700	700 per unit ⁶	700 per unit ⁶	700 per unit ⁶	n/a
Min. Building Separation	n/a	n/a	10	10	10	10
Max. Building Height (ft) ⁴	42	42	42	56	56	42

Notes:

¹ See [LDC section](#) 4.02.16.A.7 regarding Duplexes.

² See [LDC section](#) 4.02.16.A.7 regarding Two-Family Dwellings.

³ Applies to individual unit.

⁴ Zoned Height of Building.

⁵ Property zoned C-3 shall have a minimum lot width of 75 feet.

⁶ Not applicable to guest rooms in hotels.

3. Residential 1 Subdistrict (~~BMUD~~BOZD-R1).

a. Specific District Provisions:

i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.

ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section [LDC](#) 4.02.16 D., Building Types and Architectural Standards.

Table 3. Dimensional Requirements in the ~~BMUD~~BOZD-R1

	House ¹	Rowhouse ²	Apartment	Civic & Institutional
Min. Lot Width (ft)	50	25 ³	100	100
Min. Front Yard (ft)	10	10	10	10
Min. Side Yard (ft)	7.5	5	7.5	10
Min. Rear Yard (ft)	15	15	15	15
Min. Floor Area (sq ft)	1,100	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	10	10
Max. Building Height (ft) ⁴	35	35	35	35

Notes:

- ¹ See [LDC](#) 4.02.16.A.7 regarding Duplexes.
 - ² See [LDC](#) 4.02.16.A.7 regarding Two-Family Dwellings.
 - ³ Applies to individual unit.
 - ⁴ Zoned Height of Building.
4. Residential 2 Subdistrict (~~BMUD~~BOZD-R2).
- a. Specific District Provisions:
 - i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.
 - ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in [LDC](#) section 4.02.16 D., Building Types and Architectural Standards.

Table 4. Dimensional Requirements in the ~~BMUD~~BOZD-R2

	House ¹	Rowhouse ²	Apartment	Civic & Institutional
Min. Lot Width (ft)	50	25 ³	100	100
Min. Front Yard (ft)	25	25	25	25
Min. Side Yard (ft)	7.5	5	7.5	10
Min. Rear Yard (ft)	15	15	15	15
Min. Floor Area (sq ft)	1,100	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	10	10
Max. Building Height (ft) ⁴	35	35	35	35

Notes:

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- 1
2 1 See [LDC](#) 4.02.16.A.7 regarding Duplexes.
3
4 2 See [LDC](#) 4.02.16.A.7 regarding Two-Family Dwellings.
5
6 3 Applies to individual unit.
7
8 4 Zoned Height of Building.
9
10 5. Residential 3 Subdistrict (~~BMUD~~[BOZD](#)-R3).
11
12 a. Specific District Provisions:
13
14 i. Maximum Density is limited to the maximum density allowed by the
15 underlying zoning district and any available density bonuses.
16
17 ii. Lot and building dimensional requirements for new development
18 are provided below. These requirements shall be based on the
19 building type of the principal structure(s) as described in [LDC](#)
20 section 4.02.16 D., Building Types and Architectural Standards.
21

Table 5. Dimensional Requirements in the ~~BMUD~~[BOZD](#)-R3

	House ¹	Mobile Home	Rowhouse ²	Apartment	Civic & Institutional
Min. Lot Width (ft)	40	40	25 ³	100	100
Min. Front Yard (ft)	10	25	10	10	10
Min. Side Yard (ft)	5	7.5	5	7.5	10
Min. Rear Yard (ft)	8	10	8	15	15
Min. Floor Area (sq ft)	1,100	n/a	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	n/a	10	10
Max. Building Height (ft) ⁴	35	30	35	35	35

24
25 Notes:

- 26
27 1 See [LDC](#) 4.02.16.A.7 regarding Duplexes.
28
29 2 See [LDC](#) 4.02.16.A.7 regarding Two-Family Dwellings.
30
31 3 Applies to individual unit.
32
33 4 Zoned Height of Building.
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- 6. Residential 4 Subdistrict (~~BMUD~~BOZD-R4).
 - a. Specific District Provisions:
 - i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.
 - ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in LDC section 4.02.16 D., Building Types and Architectural Standards.

Table 6. Dimensional Requirements in the ~~BMUD~~BOZD-R4

	House ¹	Civic & Institutional
Min. Lot Width (ft)	50	100
Min. Front Yard (ft)	25	10
Min. Side Yard (ft)	7.5	10
Min. Rear Yard (ft)	15	15
Min. Floor Area (sq ft)	1,100	n/a
Min. Building Separation	n/a	10
Max. Building Height (ft) ²	35	35

Notes:

- ¹ See LDC 4.02.16.A.7 regarding Duplexes.
- ² Zoned Height of Building.

- 7. Exceptions to Dimensional Requirements:
 - a. For infill lots, the minimum front and side setbacks shall be equal to the average setback dimensions on lots within 500 feet on the same block.
 - b. A zero side setback is allowed for Rowhouse, Apartment, Mixed Use and Commercial building types, where permitted, if a party wall is provided.
 - c. Duplexes, where permitted, are subject to dimensional standards for a house building type, but shall have a minimum of 1,000 square feet of building area per unit and a minimum lot width of 50 feet.
 - d. Two Family dwelling units, where permitted, are subject to dimensional standards for a rowhouse building type, but shall have a minimum of 1,000

1 square feet of building area per unit and a minimum lot width of 40 feet per
2 unit.

3
4 e. Setback Encroachments:

5
6 i. Front porches in the BMUD~~BOZD~~--R1 and BMUD~~BOZD~~--R3
7 subdistricts that comply with the design criteria of LDC section
8 4.02.16 D.4.d. are permitted to encroach into the front setback up to
9 7 feet, with an additional 3 feet encroachment for entry stairs.

10
11 ii. Arcades, awnings, and stairs are permitted to encroach into the
12 front setback up to 5 feet.

13
14 iii. Bay windows may project up to 2 feet into any required setback.

15
16 iv. Uncovered porches and stoops that do not exceed an average
17 finished height above grade of 36 inches may project into any
18 required setback up to 5 feet from the property line.

19
20 v. Handicap ramps installed on a residential structure to provide
21 access for a disabled resident may encroach into the front setback,
22 unless it can be provided at another entry point.

23
24 vi. Accessory structures may encroach into the setbacks as provided
25 in LDC section 4.02.16 C.2.

26
27 vii. Non-structural accessory uses, such as HVAC, mechanical
28 equipment, rain barrels, cisterns and solar panels, may encroach
29 into the side and rear setback.

30
31 f. Height limitations shall not apply to church spires, belfries, cupolas, and
32 domes not intended for human occupancy, monuments, transmission
33 towers, chimneys, smokestacks, flagpoles, masts and antennas. Parapets
34 on a flat roof shall be no more than 5 feet in height at its highest point.

35
36 B. Dimensional and Design Standards for the ~~GTMUD~~GTOZD.

37
38 1. Mixed Use Subdistrict (~~GTMUD~~GTOZD-MXD).

39
40 a. Specific District Provisions:

41
42 i. Maximum Density: 12 units per acre comprised of density allowed
43 by the underlying zoning district and available density bonuses.
44

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- 1 ii. Lot and Building Dimensional Requirements: Lot and building
2 dimensional requirements for new development are provided
3 below. These requirements shall be based on the building type of
4 the principal structure(s) as described in LDC section 4.02.16 D.,
5 Building Types and Architectural Standards.

6
7 **Table 7. Dimensional Requirements in the GTMUDGTOZD-MXD**

8

	House ¹	Rowhouse ²	Apartment	Mixed-Use	Commercial	Civic & Institutional
Min. Lot Width (ft)	50	25 ³	100	100	100 ⁵	100
Min. Front Yard (ft)	10	10	10	6.5 ⁶	6.5 ⁶	10
Min. Side Yard (ft)	7.5	5	7.5	10	10	10
Min. Rear Yard (ft)	15	15	20	5	5	15
Min. Waterfront Setback (ft)	25	25	25	25	25	25
Min. Floor Area (sq ft)	1,100	1,000	750 per unit ⁸	700 per unit ⁸	700 per unit ⁸	n/a
Min. Building Separation	n/a	n/a	10	10	10	10
Max. Building Height (ft) ⁴	42	42	42	56 ⁷	56 ⁷	42

9
10 Notes:

11
12 1 See LDC 4.02.16.B.3 regarding Duplexes.

13
14 2 See LDC 4.02.16.B.3 regarding Two-Family Dwellings.

15
16 3 Applies to individual unit.

17
18 4 Zoned Height of Building.

19
20 5 Property zoned C-3 shall have a minimum lot width of 75 feet.

21
22 6 Development in the Mini-Triangle Area of the GTMUDGTOZD-MXD subdistrict shall have
23 a maximum setback of 20 feet.

24
25 7 MUPs in the Mini-Triangle Area of the GTMUDGTOZD-MXD subdistrict shall have a
26 maximum zoned building height of 112 feet.

27
28 8 Not applicable to guest rooms in hotels.

29
30 2. Residential Subdistrict (GTMUDGTOZD R).

31
32 a. Specific District Provisions:

- 1 i. Maximum Density is based on maximum density allowed by the
- 2 underlying zoning district and any available density bonuses.
- 3
- 4 ii. Lot and Building Dimensional Requirements: Lot and building
- 5 dimensional requirements for new development are provided
- 6 below. These requirements shall be based on the building type of
- 7 the principal structure(s) as described in LDC section 4.02.16 D,
- 8 Building Types and Architectural Standards.
- 9

Table 8. Dimensional Requirements in the ~~GT~~MUD~~GT~~OZD R

	House ¹	Rowhouse ²	Apartment	Civic & Institutional
Min. Lot Width (ft)	50	25 ³	100	100
Min. Lot Size (sq ft)	n/a	n/a	10,000	10,000
Min. Front Yard (ft)	10	10	10	10
Min. Side Yard (ft)	7.5	5	7.5	10
Min. Rear Yard (ft)	15	15	15	15
Min. Floor Area (sq ft)	1,100	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	10	10
Max. Building Height (ft) ⁴	35	35	35	35

Notes:

- 15 ¹ See LDC 4.02.16.A.7 regarding Duplexes.
- 16
- 17 ² See LDC 4.02.16.A.7 regarding Two-Family Dwellings.
- 18
- 19 ³ Applies to individual unit.
- 20
- 21 ⁴ Zoned Height of Building.
- 22

3. Exceptions to Dimensional Requirements:

- 25 a. For infill lots, the minimum front and side setbacks shall be equal to the
- 26 average setback dimensions on lots within 500 feet.
- 27
- 28 b. A zero side setback is allowed for Rowhouse, Apartment, Mixed Use and
- 29 Commercial building types, where permitted, if a shared wall, or party wall,
- 30 is provided.
- 31
- 32 c. Duplexes, where permitted, are subject to dimensional standards for a
- 33 house building type, but shall have a minimum of 1,000 square feet of
- 34 building area per unit and a minimum lot width of 80 feet.
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- d. Two Family units, where permitted, are subject to dimensional standards for a rowhouse building type, but shall have a minimum of 1,000 square feet of building area per unit and a minimum lot width of 40 feet per unit.
 - e. Setback Encroachments:
 - i. Front porches in the ~~GT~~MUD~~GTO~~ZD - R subdistrict that comply with the design criteria of LDC section 4.02.16 D.4.d. are permitted to encroach into the front setback up to 7 feet, with an additional 3 feet encroachment for entry stairs.
 - ii. Arcades, awnings, stairs and raised doorways are permitted to encroach into the front setback up to 5 feet.
 - iii. Bay windows may project up to 2 feet into any required setback.
 - iv. Uncovered porches and stoops that do not exceed an average finished height above grade of 36 inches may project into any required setback up to 5 feet from the property line.
 - v. Handicap ramps installed on a residential structure to provide access for a disabled resident may encroach into the front setback, unless it can be provided at another entry point.
 - vi. Accessory structures may encroach into the setbacks as provided in LDC section 4.02.16 C.2.
 - vii. Non-structural accessory uses, such as HVAC, mechanical equipment, rain barrels, cisterns and solar panels, may encroach into the side and rear setback.
 - f. Height limitations shall not apply to church spires, belfries, cupolas, and domes not intended for human occupancy, monuments, transmission towers, chimneys, smokestacks, flagpoles, masts and antennas. Parapets on a flat roof can be no more than 5 feet in height.
- C. Additional Standards for Specific Uses. Certain uses may be established, constructed, continued, and/or expanded provided they meet certain mitigating standards specific to their design and/or operation. These conditions ensure compatibility between land uses and building types and minimize adverse impacts to surrounding properties.
- 1. Accessory Parking Zones.

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a. Lots adjacent to the Neighborhood Commercial (~~BMUD~~BOZD-NC), Waterfront (~~BMUD~~BOZD-W) and Mixed Use (~~GTMUD~~GTOZD-MXD) Subdistricts, designated Accessory Parking Zoning (APZ) as identified on the Collier County Zoning Map, may be used for off street parking or water retention and management areas, in the following manner:

- i. As an accessory use to an adjacent non-residential principal use under the same ownership or legal control; or
- ii. As a public parking lot designated as a principal use.

b. A buffer must be provided between the APZ and adjacent residential lots as provided in LDC section 4.02.16 E.2.a.i.

2. Accessory Uses to Residential Structures. An accessory structure located on the property and related to the primary residence (single-family detached only) for uses which include, but are not limited to: library, studio, workshop, playroom, screen enclosure, detached garage, swimming pool or guesthouse.

* * * * *

g. Location: Accessory structures shall not be located in the front yard, except that accessory structures located on corner lots may be located in the front yard with the longer street frontage. In the case where a principal residential structure has been constructed permitted prior to December 12, 2000, the accessory structure may be located in the front yard, provided the accessory structure is screened by a fence or landscaping, and garage doors shall not face the public right-of-way. Accessory structures shall be setback a minimum of 10 feet from the rear property line and shall have the same side setback as required for the principal structure for the overlay subdistrict in which it is located.

3. Artist Village.

- a. Artist village is limited to the housing of artists, such as painters, sculptors, jewelry makers, in one or more multifamily attached dwellings, clustered single-family detached dwellings, or a combination thereof.
- b. Dwellings shall not be leased for periods less than 30 days.
- c. Artist village consisting of clustered, single-family detached dwellings, shall be designed consistent with the provisions for cluster residential design in LDC section 4.02.04.

1 d. Shared studio and/or gallery space shall be provided for the use of all
2 residents of the artist village.

3
4 * * * * *

6 6. Live-Work Units.

8 a. All live-work units must fully comply with any and all Building Code
9 requirements.

11 b. The non-residential use areas shall meet accessibility requirements of the
12 applicable Building Code (including site access and parking) and be
13 oriented to the street.

15 c. Size: The live-work unit shall have a minimum total size of 1,000 square
16 feet and a maximum total size of 3,000 square feet and three stories in
17 height. The non-residential use area must occupy less than 50 percent of
18 total unit.

20 d. The same individual(s) must occupy the non-residential use area and living
21 area.

23 e. The live-work unit may employ a maximum of 1 non-resident
24 worker/employee on premise at any one time.

26 f. Live-work units in non-residential subdistricts (BMUDBOZD-NC,
27 BMUDBOZD-W and ~~GTMUDGTOZD~~-MXD) shall be established through
28 the mixed use project approval process.

30 g. Limitations on use. The non-residential component of a live-work unit shall
31 be limited in the following manner:

33 i. Live-work units in a non-residential subdistrict (BMUDBOZD-NC,
34 BMUDBOZD-W and ~~GTMUDGTOZD~~-MXD) limited to uses
35 permitted within the applicable subdistrict or underlying zoning
36 district.

38 ii. Live-work units approved as a conditional use in a residential
39 subdistrict (BMUDBOZD-R3 and ~~GTMUDGTOZD~~-R) shall be
40 limited to non-residential uses including artist studio, professional
41 office, professional service such as hair salon or tailor, or any other
42 use deemed to be similar in nature by the BZA during the
43 conditional use process. Non-residential uses may include ancillary

1 retail, such as galleries selling artwork and hair salons selling hair
2 products.

3
4 iii. Prohibited uses include Vehicle Maintenance or Repair,
5 Entertainment, Drinking and Public Eating Establishment, the sale
6 of food and beverages, Sexually-Oriented Businesses, veterinary
7 services, and activities involving biological or chemical substances
8 that require a controlled environment or may pose a health hazard.

9
10 h. Parking: 1 parking space per 500 square feet of the non-residential portion
11 of the live-work unit plus 1 space for the residential unit.

12
13 i. Signage: Signage for live-work units in a commercial subdistrict shall be
14 limited to wall signs in accordance with LDC section 5.06.04. Live-work
15 units located in a residential subdistrict shall be limited to 1 non-illuminated
16 wall sign with a maximum sign area of 8 square feet.

17
18 7. Marinas and Boatyards.

19
20 a. Repair and dry storage areas shall not be visible from the street.

21
22 b. Boats available for rental purposes shall be located in the water or
23 screened with a fence or wall from the local side streets and adjacent
24 residential lots and shall not be visible from ~~Bayshore Drive~~the street.

25
26 c. All boat racks shall be enclosed with a wall or fence and the boats shall not
27 exceed the height of the enclosure. The fence material can be wood, vinyl
28 composite, concrete block with stucco finish, ~~or~~ metal, or a combination.
29 No chain link or wood fences ~~s are~~ is allowed.

30
31 d. ~~Architectural standards of this BOZD apply.~~ Height of structures may be
32 increased to a maximum actual height of 50 feet by the ~~Board of Zoning~~
33 ~~Appeals (BZA)~~ upon approval of a variance petition.

34
35 ~~e. Outdoor displays of boats for sale on properties fronting Bayshore Drive~~
36 ~~shall be limited to the following:~~

37
38 ~~i. All areas used for boat display activities shall occupy no more than~~
39 ~~35 percent of the linear frontage of the property.~~

40
41 ~~ii. All boat sale areas shall not be closer to the frontage line than the~~
42 ~~primary building they serve.~~

43

1 ~~iii. All boats located within an outdoor sales area shall not exceed the~~
2 ~~height of 17 feet above existing grade.~~

3
4 ~~iv. Outdoor sales areas shall be connected to the parking area and~~
5 ~~primary structure by a pedestrian walkway.~~

6
7 ~~v. An additional 10 foot landscape buffer is required around the~~
8 ~~perimeter of the outdoor boat sales area. This buffer must include,~~
9 ~~at a minimum 14 foot high trees, spaced at 30 feet on center and a~~
10 ~~3 foot high double row hedge spaced at three feet on center at the~~
11 ~~time of planting.~~

12
13 ~~fe.~~ One parking space per 5 dry boat storage spaces.

14
15 ~~gf.~~ On-site traffic circulation system shall be provided that will accommodate
16 areas for the loading and unloading of equipment that will not encroach
17 upon residential developments.

18
19 ~~g.~~ For properties with access to an alley, the alley shall be the primary access
20 for loading and service functions unless physical constraints preclude the
21 use of the alley in this manner.

22
23 8. Mixed Use Project.

24
25 a. Mixed Use Projects (MUPs) are typically human-scale, pedestrian-
26 oriented, interconnected projects with a mix of residential and commercial
27 uses such as retail, office and civic amenities that complement each other.
28 Residential uses are often located above commercial uses, but can be
29 separate areas of residential use only with close proximity to commercial
30 uses. An interconnected street system is the basis for the transportation
31 network. Buildings are encouraged to be built close to the vehicular and
32 pedestrian way to create a continuous active and vibrant streetscape
33 utilizing the architecture, landscaping, lighting, signage, and street
34 furnishings.

35
36 b. Mixed Use Projects in the ~~BMUD~~BOZD-NC, ~~BMUD~~BOZD-W and
37 ~~GTMUD~~GTOZD-MXD shall be reviewed and permitted in accordance with
38 LDC section 10.02.15.

39
40 c. A minimum of 60 percent of all commercial uses within a mixed use project
41 shall provide retail, office and/or personal service uses to serve the needs
42 of the subject project and surrounding residential neighborhoods.

43

- 1 d. A maximum of 25 percent of the residential units within a ~~mixed-use~~
2 ~~project~~MUP may shall be on gated roadways, except that MUPs utilizing
3 the Density Bonus Pool Allocation shall not be gated. Residential uses shall
4 be constructed concurrent with, or prior to, the construction of commercial
5 uses so as to insure actual development of a mixed use project, or
6 otherwise in accordance with a development schedule approved for the
7 project and made a condition of the MUP approval.
8
- 9 e. MUPs shall provide connection to local streets, adjoining neighborhoods
10 and adjacent developments, regardless of land use types. A grid street
11 pattern is preferred; however, modifications may be approved, provided the
12 vehicular network provides interconnections between internal uses and
13 external connections to adjoining neighborhoods and land uses. The
14 network shall fully accommodate pedestrian, bicycle, and transit. Vehicular
15 and pedestrian interconnection shall be provided to the property line to
16 allow access to all connection points with the abutting development,
17 consistent with the ~~Conceptual Site Plan or conceptual~~ PUD Master Plan.
18 The final location of the access point(s) shall be coordinated with the
19 adjacent ~~abutting~~ property owners and a cross-access easement, or an
20 access easement to the public for public use without responsibility of
21 maintenance by Collier County, shall ~~with the cross-access easements to~~
22 be provided at time of the first SDP or PPL ~~Site Development Plan or Plat.~~
23 The connection and supporting infrastructure shall be constructed to the
24 property line on the subject property by the developer, successors, or
25 assigns prior to the issuance of the first ~~C.O~~Certificate of Occupancy. The
26 interconnections shall remain open to the public.
27
- 28 f. The commercial component of a mixed use project may be located internal
29 to the project or along the boundary; if externally located, internal access
30 roads and service access shall be provided so as not to promote strip
31 commercial development along external collector and arterial roadways.
32
- 33 g. Parking lots shall be dispersed throughout the project. No one parking lot
34 shall provide more than 40 percent of the required off-street parking.
35 Parking garages shall have no restrictions on percentage of required
36 parking that may be accommodated. This requirement shall not apply to
37 individual parcels less than 5 acres in size.
38
- 39 h. At least 30 percent of the gross area of mixed use projects shall be devoted
40 to useable open space, as defined in LDC section 4.02.01 B. In the case
41 of any request to deviate from this requirement, a donation of land, cash,
42 or other in-kind contribution may be accepted by the CRA, where it has
43 been demonstrated to sufficiently mitigate for the reduction of required on-
44 site usable open space. This cash or in-kind contribution may be used to

1 enhance the public realm (public art, plaza, fountains, etc). This usable
2 open space requirement shall not apply to individual parcels less than 5
3 acres in size.

4
5 i. For MUPs utilizing the Density Bonus Pool Allocation, the project's
6 vehicular access shall not be gated, and the project shall comply with LDC
7 sections 4.02.16.C.15.b and c. and 4.02.16.C.16.

8
9 j. For MUPs utilizing the Density Bonus Pool Allocation, a mix of uses are
10 required so that any one use (e.g., commercial, residential, institutional,
11 business park, etc.) does not exceed 80 percent of the gross building
12 square footage. This ratio is applicable to an MUP whether it is vertically
13 mixed (mix of uses contained within the same building) or horizontally
14 mixed (mix of uses within separate buildings). Nonresidential uses must
15 be publicly accessible.

16
17 9. Outdoor ~~Display and Sale of Merchandise~~ vending machines.

18
19 a. No automatic food and drinking vending machines are permitted outside of
20 any structure.

21
22 b. Newspaper vending machines will be limited to two machines per project
23 site and shall be permanently affixed (not portable).

24
25 ~~c. Outdoor display and sale of merchandise, within front yards on improved~~
26 ~~properties, is permitted provided the merchandise is limited to the sale of~~
27 ~~comparable merchandise sold on the premises.~~

28
29 104. All permitted or conditional uses allowing for outdoor display, sales, or storage of
30 manufactured products, raw or finished materials, boats, or vehicles, shall be
31 required to meet the following standards: ~~Outdoor Display and Outdoor Sales of~~
32 ~~boats, vehicles, construction materials, and equipment; Outdoor storage in~~
33 ~~general.~~

34
35 a. Minimum lot size is 30,000 square feet ~~for outdoor display or outdoor sales~~
36 ~~of boats, vehicles, construction materials and equipment, and for outdoor~~
37 ~~storage in general.~~

38
39 b. Total area of the property used for these outdoor functions is limited to 30
40 percent of the property.

41
42 c. These outdoor functions are limited to occupying a maximum of 35 percent
43 of the linear frontage of the property along arterials, collectors, and local
44 streets which are in view of, or provide access to, residential uses. These

1 outdoor functions may occupy up to 50 percent of the linear frontage of the
2 property along a local street which is not in view of, and does not provide
3 access to, residential uses.

4
5 d. Outdoor display, sales, or storage of manufactured products, raw or
6 finished materials, boats, or vehicles ~~Outdoor display or sales of boats,~~
7 ~~vehicles, construction materials, or equipment and outdoor storage in~~
8 ~~general~~ shall not be closer to the frontage line than the primary building
9 they serve.

10
11 e. A maximum height of 17 feet above existing grade applies to boats,
12 vehicles, construction materials or equipment that is stored, on display, or
13 for sale outdoors ~~and any items stored outdoors.~~

14
15 f. Any outdoor display, sales, or storage of manufactured products, raw or
16 finished materials, boats, or vehicles ~~boats, vehicles, construction material,~~
17 ~~or equipment on display or for sale outdoors, and any items stored outdoors~~
18 that exceed a height of six ~~6~~ feet shall be set back at least 50 feet from a
19 property line that is adjacent to or in the view of property zoned for or used
20 for residential purposes.

21
22 g. For properties with access to an alley, the alley shall be the primary access
23 for loading and service functions unless physical constraints preclude the
24 use of the alley in this manner.

25
26 h. Buffering shall be provided in accordance with LDC section 4.02.16 E.,
27 unless as specified in this section for outdoor display, sales, or storage of
28 manufactured products, raw or finished materials, boats, or vehicles ~~In~~
29 ~~addition to compliance with the applicable buffer standards of LDC sections~~
30 ~~4.06.00 and 4.02.16.E, in no case shall the screening be less than the~~
31 ~~following:~~

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36 *This space left intentionally blank*
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<u>Outdoor display or sales area</u>	<u>Min. Screening Width (ft)</u>	<u>Screening material</u>
<u>Perimeter screening, except for side and rear yards that adjoin or are in view of property zoned for residential purposes</u>	<u>10</u>	<u>Trees a minimum of 14 feet in height, spaced 30 feet on center and a double hedge row, three feet in height and spaced 3 feet on center at time of planting</u>
<u>Side and rear yards that adjoin or are in view of property zoned for residential purposes</u>	<u>10</u>	<u>Wall or fence six feet in height. The outside of the wall or fence must contain landscape material in accordance with Type B buffer requirements</u>
<u>Outdoor storage area</u>	<u>10</u>	<u>Wall or fence in accordance with LDC section 4.02.12. The outside of the wall or fence must contain landscape material in accordance with Type B buffer requirements</u>
<u>Note: Wall or fence material shall consist of either vinyl composite, concrete block with stucco finish, or metal, or a combination. No chain link or wood fences are allowed.</u>		

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~~i. Screening of outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment requires a minimum 10-foot wide landscape buffer along property lines around the perimeter of the outdoor display or sales area, including, at least 14-foot high trees, spaced at 30 feet on center and a 3-foot high double row hedge spaced at three feet on center at the time of planting.~~

~~ii. Screening of outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment along side yards and rear yards that adjoin or are in view of property zoned for residential purposes must include a minimum 6-foot high wall or fence measured from the centerline of the adjacent roadway. The wall or fence material can be wood, vinyl composite, concrete block with stucco finish, or metal, or a combination. No chain link fence is allowed. A minimum 10-foot wide landscape buffer must be planted outside the wall or fence with trees at a minimum height of 14 feet and double row hedge at a minimum height of 3 feet at time of planting.~~

~~iii. Outdoor storage is subject to design standards of LDC Section 4.02.12, provided that the wall or fence material can be wood, vinyl composite, concrete block with stucco finish, or metal, or a~~

~~combination. No chain link fence is allowed. Additionally, screening shall include no less than a 10 foot wide landscape buffer planted outside the wall or fence with trees at a minimum height of 14 feet and double row hedge at a minimum height of 3 feet at time of planting.~~

ih. Minimum required parking spaces for outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment shall be 1 space per 1,000 square feet of outdoor display and outdoor sales area in addition to the requirement for the buildings and other uses on the site. Required parking spaces shall be clearly designated and not used for items for sale or display. Outdoor display or sales areas shall be connected to these parking spaces and to the primary structure on the site by a pedestrian walkway.

112. Commercial Vehicle or Fleet Vehicle Parking for Non-Residential Uses.

a. Commercial vehicle or fleet vehicle parking in connection with a non-residential use in a non-residential district may be permitted on improved property, limited to the rear yard.

b. In addition to compliance with the applicable buffer standards of LDC sections 4.06.02 and 4.02.16.E, in no case shall the screening be less than the following:

i. Screening of commercial vehicle or fleet vehicle parking that adjoins or is in view of property zoned for or used for residential purposes must include a minimum 6 foot high wall or fence measured from the centerline of the adjacent roadway. The wall or fence material can be wood, vinyl composite, concrete block with stucco finish, or metal, or a combination. No chain link or wood fences are is allowed. A minimum 10 foot wide landscape buffer must be planted outside the wall or fence with trees at a minimum height of 14 feet and double row hedge at a minimum height of 3 feet at time of planting.

c. For properties with access to an alley, the alley shall be the primary access for loading and service functions and access to the commercial or fleet vehicles unless physical constraints preclude the use of the alley in this manner.

123. View of repair bays and overhead doors. Repair bays that are open or that have metal roll-up garage doors shall not be visible from public right-of-ways, except for alleys.

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D. Building Types and Architectural Standards.

1. Purpose and Intent. The purpose of this section is to supplement the provisions of LDC section 5.05.08 by identifying and providing design standards for the building types allowed within the ~~Bayshore Gateway Triangle Redevelopment Area~~ BGTCRA. The standards are intended to attach the same importance to the overall building design as is placed on the use contained therein, and to ensure that proposed development is consistent with the CRA's goals for building form, character and quality. Buildings within the ~~BMUDBOZD~~ and ~~GTMUDGTOZD~~ are expected to be added as long-term additions to the architectural vibrancy of the community.

2. Applicability. Each proposed building shall be designed in compliance with the standards of this section for the applicable building type, regardless of the underlying zoning district provisions. The uses permitted within the building are determined by the underlying zoning district or overlay subdistrict in which it is located. All buildings shall meet the design requirements set forth in LDC section 5.05.08 unless otherwise specified in this section.

3. General Architectural Standards.

* * * * *

f. Deviations from exterior building color. Applicants within the ~~Bayshore Gateway Triangle Community Redevelopment District~~ BGTCRA boundaries may request a deviation from the exterior building color requirements of LDC section 5.05.08 D. A deviation request shall be subject to the procedures established in LDC section 5.05.08 G. and shall be subject to the following criteria:

- i. The deviation request is consistent with LDC section 5.06.00, regarding sign regulations and standards.
- ii. The deviation request consists of no more than 3 colors.
- iii. The deviation request may not be for a color which is below lightness level 3 on the Collier County Architectural Color Charts.

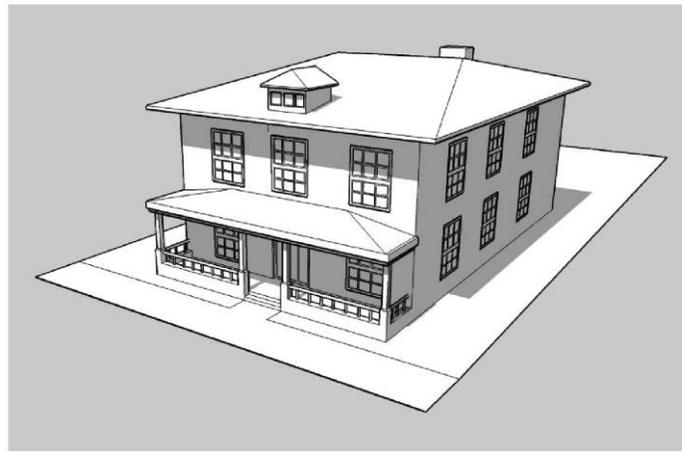


BGTCRA ~~Redevelopment Area~~ Figure 1
Facade Treatments
(For illustrative purposes only)

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4. Building Type: HOUSE.

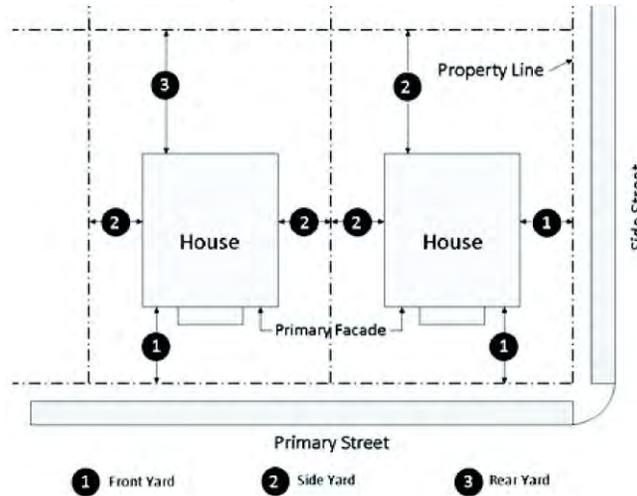
- a. Description: The predominant building type in the ~~Bayshore Gateway Triangle Redevelopment Area~~ BGTCRA and is intended for use as a single-family detached dwelling located on its own lot, although it may also accommodate duplexes, small multi-family dwellings, home occupations, and professional offices.



BGTCRA ~~Redevelopment Area~~ Figure 2
Building Type: House
(For illustrative purposes only)

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- b. Yards: The typical House has four yards: front, sides, and rear. Corner lots shall have two front yards and two side yards, with the front yards along each street frontage.



BGTCRA ~~Redevelopment Area~~ Figure 3
 House Yard Diagram
 (For illustrative purposes only)

- c. Facade Elevation Requirements:

- i. A maximum of two feet of fill shall be allowed on site towards meeting National Flood Insurance Program (NFIP) requirements. Additional NFIP finished habitable floor height requirements shall be accomplished through stem wall construction. Stem walls shall be finished in material and color complimentary to the principal structure.
- ii. Open stilt-type construction is not permitted. On front yards, the foundation area below the first floor must be treated with a solid façade or lattice, which is consistent with the architectural style of the building and the floodplain protection standards of section 3.02.00.
- iii. Parking is permitted under the principal structure. The garage floor shall not exceed 24 inches above the elevation of the crown of road from which it is accessed.
- iv. All Houses are required to include architectural features. Based on the point system below, a total of six points is required:
 - a) The following items will be calculated at two points each:

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1) Metal, tile or slate roof (5v Crimp, standing seam or similar design; no corrugated metal; cannot be on a flat roof to receive points)

2) Impact windows and doors throughout the house with exterior window trim (minimum of 3 ½" wide)

3) Rear-load, side-loaded garage, or recessed garage (see garage standards below in LDC Section 4.02.16 D.4 e. Garages, Carports, and Driveways)

b) The following items will be calculated as one point each:

1) Front porch (see front porch requirements below in LDC Section 4.02.16 D.4.d Front Porches)

2) Awnings

3) Decorative shutters

4) Dormers

5) Balconies or loggias along the front façade

6) Decorative cornices or roof line

7) Bay, box, and bow windows with independent roofs over windows on the front of house

8) Minimum of 12 inch overhang with finished soffit and fascia

9) Pitched roof (minimum 4/12 pitch)

10) Decorative railings on balconies and front porch

11) Decorative exterior wainscoting such as stone, board and batten, and horizontal siding

12) Exterior window trim (minimum of 3 ½ inch wide)

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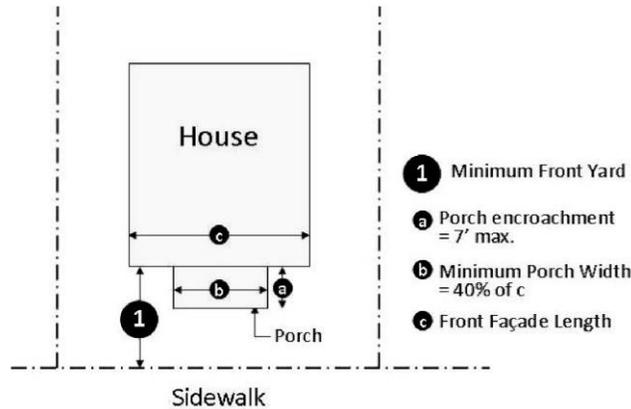
- 13) 42-inch decorative front yard fence consistent with the architectural style of the principal structure (e.g., white picket fence with cottage style)
- 14) Garage door with windows glazing and/or architectural details that mirror the principal structure
- 15) Front door made from high quality material framed with decorative exterior trim (minimum of 3-½ inch) with incorporated detail such as raised panel profiles and clear glass windows
- 16) Two story home
- 17) 6-foot wide sidewalk installed within the right of way
- 18) Gables
- 19) Decorative columns, pillars or posts
- 20) Eaves
- 21) Transoms
- 22) Decorative trellis above garage door, entry door, or window
- 23) Brick or cut stone (natural or cultured) accents or exterior walls
- 24) Elevated foundation with front porch steps
- 25) Brackets (e.g. wood appearing step beam, or heavy timber knee brackets)
- 26) Balconies or loggias
- 27) Cast stone lintels

d. Front Porches:

- i. Front porches should be used as a primary architectural element and may encroach up to 7 feet into the required front setback in accordance with LDC section 4.02.16 A.7.e.i.

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- ii. Front porches must cover a minimum of 40 percent of the horizontal length of the front yard façade of the primary residence and be at least 5 feet deep.



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BGT CRA ~~Redevelopment Area~~ Figure 4
House Porch Diagram
(For illustrative purposes only)

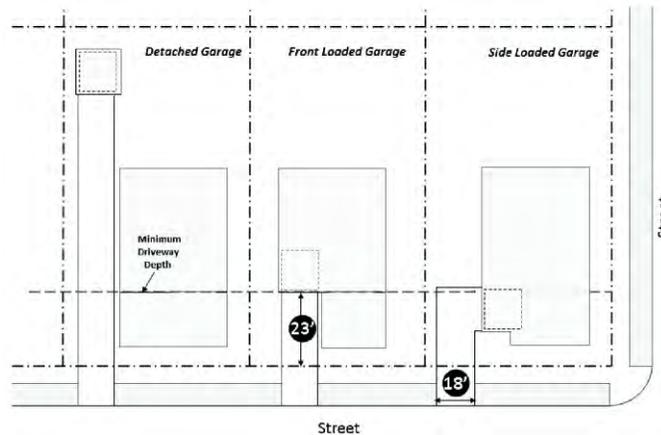
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- e. Garages, Carports, and Driveways:
 - i. Garage doors, along the frontage, shall have a maximum width of 16 feet or 45 percent of the total linear frontage of the front façade elevation of the home, whichever is greater.
 - ii. Garage space may project beyond the front plane of the forward most or street side living space façade only if a front porch (standard for all elevations of the plan) is at minimum, flush with the forward most plane of the garage.
 - iii. The driveway shall have a maximum width of 18 feet in the right-of-way area. Other than the permitted driveway, the front yard may not be paved or otherwise used to accommodate parking.
 - iiii. Freestanding carports are prohibited. Carports and porte-cochere must be attached to the principal structure and be of similar materials and design as the principal structure. Detached garages must meet the side and rear setback requirements for an accessory structure. Carports and detached garages shall be no closer than 23 feet from the front yard setback line.

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- iv. The distance from the back of the sidewalk to the garage door must be at least 23 feet to allow room to park a vehicle on the driveway without parking over the sidewalk. Should the garage be side-loaded there must be at least a 23 foot paved area on a perpendicular plane to the garage door or plans must ensure that parked vehicles will not interfere with pedestrian traffic.



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*BGTCRA ~~Redevelopment Area~~ Figure 5
Garages, Carports, and Driveways Diagram
(For illustrative purposes only)*

- f. Massing and Scale: Houses shall relate in mass and scale to the surrounding neighborhood and shall avoid a single, large, dominant building mass by adhering to the following standards:
 - i. Houses shall include façade variations so that the maximum length, or uninterrupted curve, of any façade does not exceed 30 linear feet. This shall include both fronts of a corner lot.
 - ii. Façade variations shall be provided through projections and recesses with a minimum depth of 2 feet.
 - iii. Roofline offsets shall be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof. The maximum length of an uninterrupted flat roof, on the front facade, shall be 30 linear feet.

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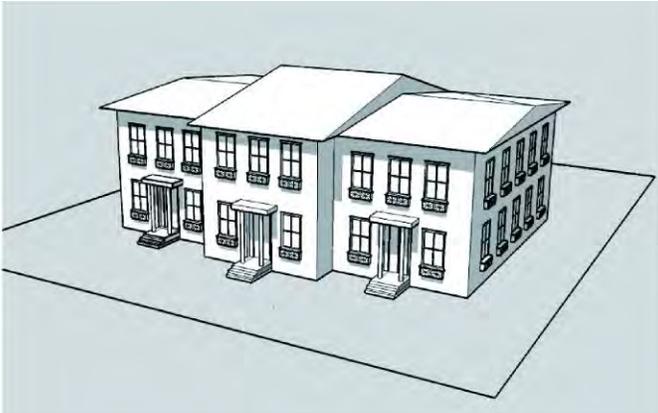
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g. Materials:

- i. House exteriors shall consist of wood clapboard, stucco finish, cement fiber board products, vinyl siding, brick or stone. Corrugated metal siding may be used as an accent, not to exceed 25% of the building's surface area.
- ii. Pitched roofs shall be metal seam (5v Crimp, standing seam or similar design; no corrugated metal), slate, copper, asphalt, or wood shingles.

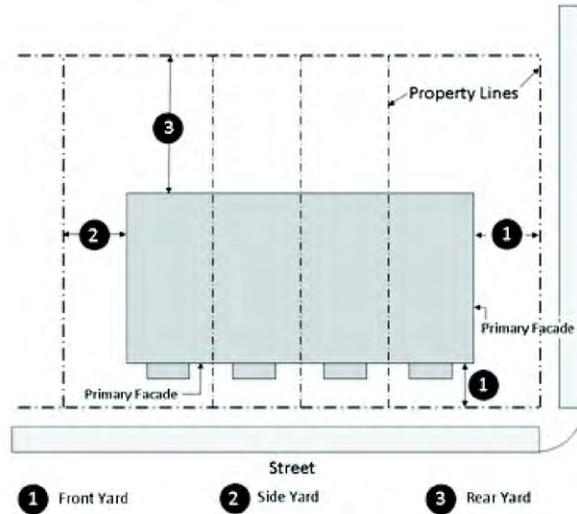
5. Building Type: ROWHOUSE.

- a. Description: A building with two or more residential units that are attached by a common wall. A rowhouse is typically a fee simple unit from ground to roof with no units above or below. A rowhouse may be used as a live-work unit.



*BGTCRA ~~Redevelopment Area~~ Figure 6
 Building Type: Rowhouse
 (For illustrative purposes only)*

- b. Yards: The rowhouse building typically has one primary yard located to the rear of the structure with the potential for a small landscaped front yard. A side yard is required for end units. Corner lots shall have a front yard on each street frontage.

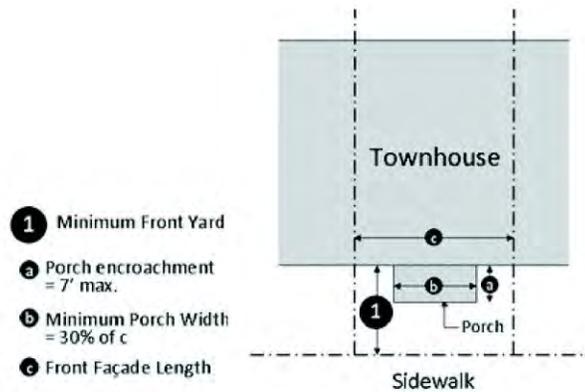


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BGTCRA ~~Redevelopment Area~~ Figure 7
Rowhouse Yard Diagram
(For illustrative purposes only)

c. Front Porches and Stoops:

- i. Front porches should be used as a primary architectural element and may encroach up to 7 feet into the required front setback in accordance with LDC section 4.02.16 A.7.e.i.



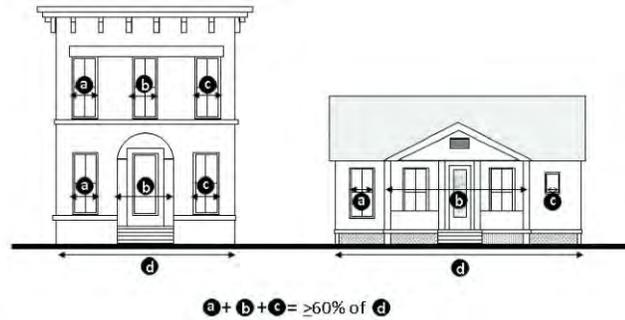
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BGTCRA ~~Redevelopment Area~~ Figure 8
Rowhouse Porch Diagram
(For illustrative purposes only)

d. Façade Elevation Details:

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- i. All building **façades elevations** visible from the street shall provide doors, porches, balconies, terraces and/or windows along a minimum of 60 percent of the front **façade elevation** and 30 percent of the side **façade elevation** for each building story. "Percent of **façade elevation**" is measured as the horizontal plane containing doors, porches, balconies, terraces and/or windows in relation to the total horizontal plane of the building **façade elevation**.



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BGTCRA ~~Redevelopment Area~~ Figure 9
 Building **Facade Elevation** Diagram
 (For illustrative purposes only)

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e. Garages and Driveways:

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- ii. **Garage provided along the front façade of the building shall meet the following design standards:**

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- b) **Garage doors shall not exceed more than 30 percent of the front façade elevation.**

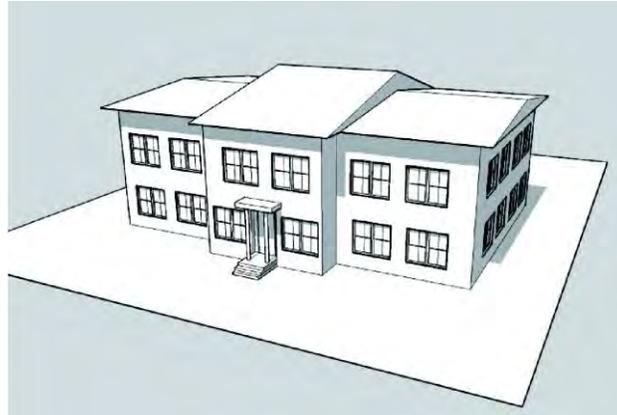
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6. Building Type: APARTMENT.

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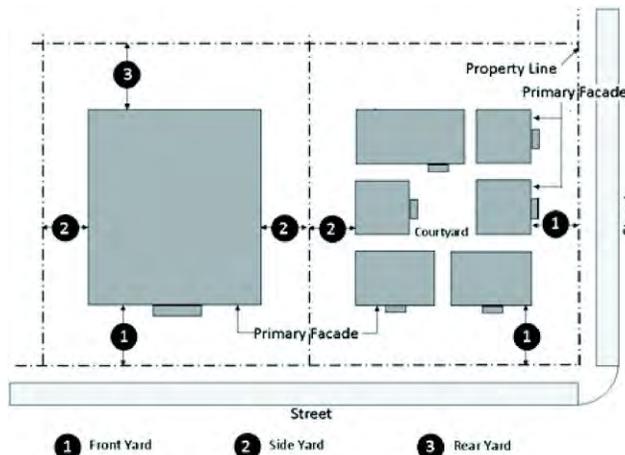
- a. Description: A multiple-unit building with units arranged vertically and/or horizontally and with parking located below or behind the building. Units may be for rental or for sale in condominium ownership or may be designed as continuing care facilities or lodging (hotel).

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BGTCRA ~~Redevelopment Area~~ Figure 10
Building Type: Apartment
(For illustrative purposes only)

- b. Yards: The apartment building typically has a primary yard located to the rear of the structure with secondary side yards and the potential for a small landscaped front yard. Corner lots shall have a front yard along each street frontage. Buildings located internal to a site may be arranged in a courtyard setting provided the site has at least 1 building oriented toward the street.



BGTCRA ~~Redevelopment Area~~ Figure 11
Apartment Building Yard Diagram
(For illustrative purposes only)

c. Facade Elevation Details:

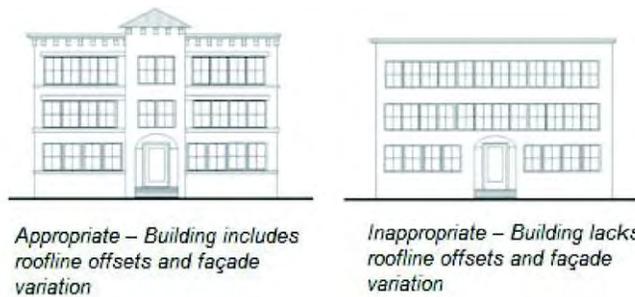
- i. All apartment building facades elevations visible from the street shall provide doors, porches, balconies, terraces and/or windows along a minimum of 60 percent of the front façade elevation and 30

percent of the side façade elevation for each building story. "Percent of façade elevation" is measured as the horizontal plane containing doors, porches, balconies, terraces and/or windows in relation to the total horizontal plane of the building façade elevation.

* * * * *

d. Massing and Scale: Apartment buildings shall relate in mass and scale to the adjacent built environment and shall avoid single, large, dominant building mass.

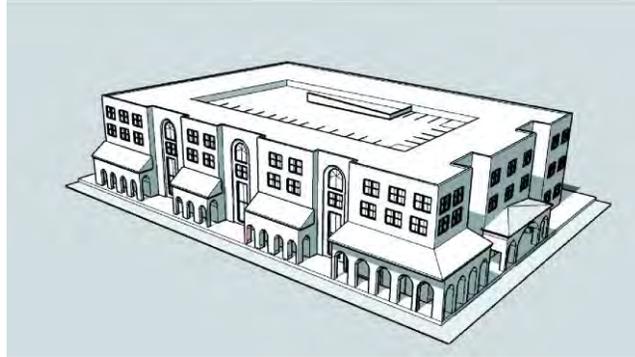
i. Buildings over 10,000 square feet in gross building area shall include façade variations so that the maximum length, or uninterrupted curve, of any façade does not exceed 60 linear feet. Façade variations shall be provided through projections and recesses with a minimum depth of 5 feet and may include porches, balconies, bay windows and/or covered entries.



*BGTCRA Redevelopment Area Figure 12
Massing and Scale Diagram
(For illustrative purposes only)*

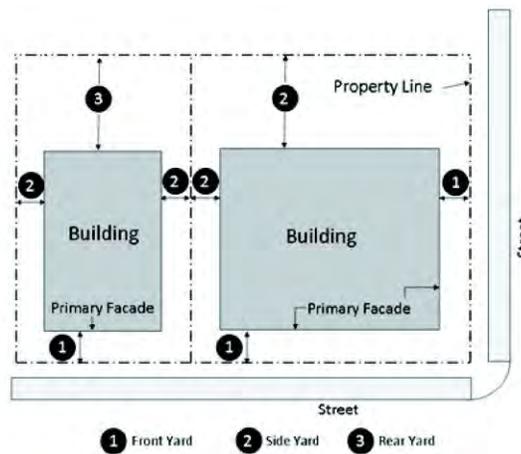
7. Building Type: MIXED-USE.

a. Description: A building which can accommodate a variety of uses, typically with the ground floor dedicated to non-residential uses and upper story floor(s) dedicated to office and/or residential uses.



BGTCRA Redevelopment Area Figure 13
Building Type: Mixed-Use
(For illustrative purposes only)

- b. Yards: The mixed-use building typically has a primary yard located to the rear of the structure with the potential for a small front plaza or courtyard to provide public space or outdoor dining.



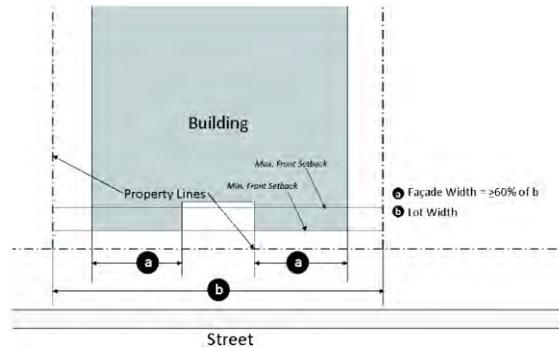
BGTCRA ~~Redevelopment Area~~ Figure 14
Mixed-Use Building Yard Diagram
(For illustrative purposes only)

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- d. Street Façades: The first floor of all mixed-use buildings shall be designed to encourage and complement pedestrian-style interest and activity through the following elements:

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- i. The first floor building **façade elevation** shall be located between the minimum and maximum front setback line (if provided) for a minimum of 60 percent of lot width.



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*BGTCRA ~~Redevelopment Area~~ Figure 15
Mixed-Use Building Facade Diagram
(For illustrative purposes only)*

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- e. **Windows:** Windows along the first floor building **façade elevation** shall meet the following standards:

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- g. **Façade Elevation Details:**

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8. Building Type: COMMERCIAL

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- a. Description: A single or multi-story building which accommodates non-residential and automobile oriented uses, such as retail and office uses. This building type provides convenient vehicle access from the fronting roadway while minimizing the negative impacts of parking lots on an active pedestrian realm.

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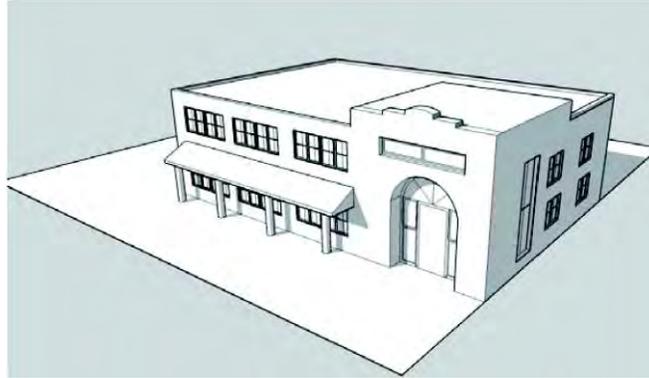
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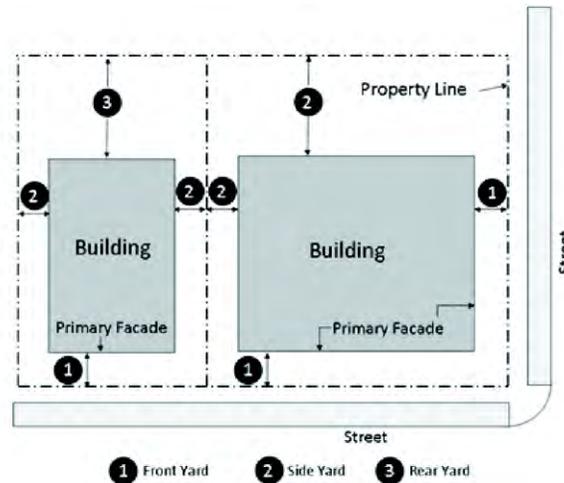
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BGTCRA ~~Redevelopment Area~~ Figure 16
Building Type: Commercial
(For illustrative purposes only)

- b. Yards: The commercial building has a primary yard located to the rear of the structure with the potential for a small front plaza or courtyard to provide public space or outdoor dining.



BGTCRA ~~Redevelopment Area~~ Figure 17
Commercial Building Yard Diagram
(For illustrative purposes only)

- c. Street Façades: The first floor of all commercial buildings shall be designed to encourage and complement pedestrian-style interest and activity through the following elements:
 - i. The first floor building ~~façade elevation~~ shall be located between the minimum and maximum front setback line (if provided) as

1 provided in LDC section 4.02.16 A.1.a.ii. for a minimum of 50
2 percent of lot width.

3
4 ii. Glazing, consisting of transparent windows and doors, covering a
5 minimum of 30 percent of the length of first floor building façade
6 ~~elevation~~ along the primary street frontage. Building elevations
7 along secondary street frontages shall provide 25 percent glazing.

8
9 * * * * *

10
11 d. Windows: Windows along the first floor building façade ~~elevation~~ shall meet
12 the following standards:

13
14 * * * * *

15
16 f. Façade ~~Elevation~~ Details:

17
18 * * * * *

19
20 10. Building Type: MOBILE HOME. All mobile homes are required to have the entry
21 façade oriented towards the front of the lot.

22
23 E. Landscaping and Buffer Requirements

24
25 1. Applicability: Landscaping and buffering in the ~~BMUDBOZD~~ and ~~GTMUDGTOZD~~
26 shall be provided in accordance with LDC section 4.06.00, unless as specified in this
27 section.

28
29 2. Buffer Requirements: Buffers shall be provided to give spatial separation and
30 visual screening between incompatible uses.

31
32 a. Perimeter Buffers: The following buffer standards shall be required for
33 MUPs, PUDs, commercial developments and other non-residential
34 developments in the ~~BMUDBOZD~~-NC, ~~BMUDBOZD~~-W and
35 ~~GTMUDGTOZD~~-MXD subdistricts.

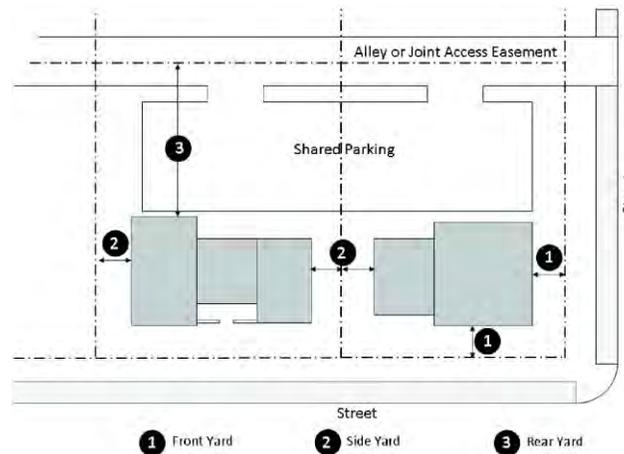
36
37 i. Buffers adjacent to residential uses and residentially zoned
38 properties shall be consistent with one of the following:

39
40 a) Ten foot wide buffer including a 6 foot high opaque masonry
41 wall and a row of trees spaced no more than 30 feet on
42 center; or
43

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b) Fifteen foot wide buffer including trees spaced no more than 25 feet on center and a hedge consisting of ten gallon plants five feet in height, three feet in spread and spaced a maximum four feet on center at the time of planting.

ii. Buffers adjacent to non-residential uses shall include a shared 10 foot wide buffer. Each property must contribute a minimum of 5 feet to the buffer. This buffer area may be provided in the form of landscaped area with plantings consistent with the Type A buffer requirements and/or hardscaped courtyards, mini-plazas, outdoor eating areas, and building foundation planting areas. This buffer requirement is not required in the side yard between non-residential uses that share a common wall or between shared parking facilities.



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BGTCRA Redevelopment Area Figure 18
Shared Buffer Diagram
(For illustrative purposes only)

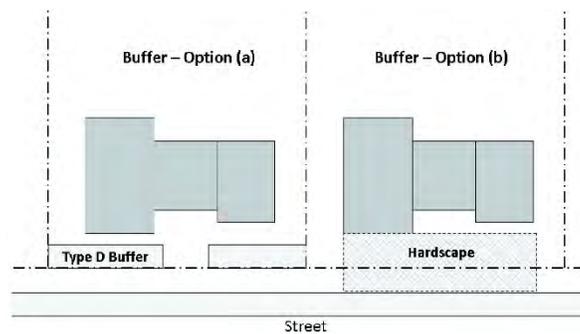
iii. Road Right-of-Way Buffers: Road right-of-way buffers for multi-family (excluding house and rowhouse building types) and non-residential developments are encouraged to coordinate with and complement the Bayshore Gateway Triangle Streetscape Guidelines.

- a) Developments within an Activity Center must provide a 20 foot Type D buffer adjacent to US 41, Tamiami Trail, meeting the design standards of LDC section 4.06.02 C.4.
- b) All other developments shall provide a buffer consisting of one of the following:

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- 1) Minimum 10 foot wide Type D buffer meeting the design standards of LDC section 4.06.02 C.4.
- 2) A hardscaped area extending from the back of the street planting zone to the primary front façade. The hardscaped area shall perform as an expanded public realm and may include benches, outdoor eating areas, plazas, fountains, and art pieces.

3) A streetwall consistent with standards of LDC section 4.02.16 E.3.c.ii where a parking lot for non-residential uses abuts the right-of-way of Bayshore Drive, Van Buren Avenue, Thomasson Drive in the BOZD and US 41, Davis Boulevard, and Commercial Drive in the mini-triangle portion of the GTOZD.



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*BGTCRA ~~Redevelopment Area~~ Figure 19
Road Right-of-Way Buffer Diagram
(For illustrative purposes only)*

- 3. Parking Lot Landscaping:
 - a. A maximum of 30 percent of the landscape islands may have a minimum width of 5 feet inside planting area and may be planted with a palm tree equivalent.
 - b. Minimum tree size shall be 1-3/4" caliper and a minimum of 10 feet in height.
 - c. Parking lot perimeter:
 - i. Parking lots shall include perimeter planting areas that are a minimum of 5 feet in width. Shrubs shall be arranged in a staggered

1 pattern with a minimum size of 3 gallons at the time of planting to
2 provide year-round screening. Trees shall be included in the
3 perimeter landscape area at a minimum spacing of one tree/palm
4 per 25 feet of linear frontage.

5
6 ii. Streetwalls shall be used when surface parking lots for non-
7 residential uses abut the right-of-way of Bayshore Drive, Van Buren
8 Avenue, Thomasson Drive in the ~~BMUD~~BOZD and US 41, Davis
9 Boulevard, and Commercial Drive in the mini-triangle portion of the
10 ~~GTMUD~~GTOZD.

11
12 a) The wall shall complement the materials and colors of the
13 primary buildings and be 3 to 4 feet in height and shall have
14 a 12 inch projection or recess a minimum of every 15 feet.

15
16 b) The streetwall shall be set back the same distance as the
17 primary building façade; however, the streetwall shall meet
18 County standards for site distance triangles per LDC section
19 4.06.01 D.1.

20
21 c) The street side of the streetwall shall have trees at 30 feet
22 on center planted within tree wells or a minimum 5 foot wide
23 strip with ground covers other than grass.

24
25 d) The streetwall structure shall be protected through the use
26 of a root barrier system as identified by LDC section Figure
27 4.06.05.H.A.

28
29 e) No streetwall is required if all of the parking is located in rear
30 of the development.

31
32 4. Building Foundation Planting: Building foundation plantings shall be required per
33 LDC section 4.06.05 ~~of the LDC~~, except as follows. The building shall provide the
34 equivalent of 10 percent of its gross ground level floor area, in building foundation
35 planting area. A continuous building foundation planting width is not required per
36 LDC section 4.06.05 ~~of the LDC~~. However, the foundation plantings shall be
37 located within 25 feet of the building edge in the form of landscaped courtyards
38 and seating area landscaping.

39
40 5. Water Management Area: The water management area may be located within any
41 required buffer area provided all buffer plantings can be accommodated.

42
43 6. Plant Materials: Landscaping in the BMUD and GTMUD shall utilize tree and shrub
44 plants that are identified in the Collier County Native Plant List in order to minimize

DRAFT

Text underlined is new text to be added

~~Text strikethrough is current text to be deleted~~

1 maintenance and water demands after establishment. Ornamental plantings
2 should be drought-tolerant in nature, consistent with Florida Yards &
3 Neighborhoods Program, and cross-referenced with the latest Florida Exotic Pest
4 Plant Council (FLEPPC) listing of invasive species (Categories I and II).
5

6 F. Parking Standards. The purpose of the parking standards for the BMUD and GTMUD is
7 to regulate the location, siting, and design of on-street and off-street parking in a manner
8 that provides convenient access to adjoining uses, reduces increased surface level heat
9 and glare, and enhances pedestrian, bicyclist and motorist safety and visibility within the
10 built environment. Parking in the BMUD BOZD and GTMUD GTOZD shall be as provided
11 for in LDC section 4.05.00, except as specified in this section.
12

13 1. Parking Space Requirements: Parking spaces shall be provided in accordance
14 with the following table. For uses not specifically listed, the most similar category
15 shall be used to calculate the minimum parking requirements. Net Floor Area is
16 defined as total floor area excluding mechanicals and core space.
17

18 **Table 1. Parking Space Requirements in the BMUD BOZD and GTMUD GTOZD**
19

Use Type	Minimum Parking Spaces
Single-Family Residential	2.0/dwelling unit
Multi-family Residential	
1-bedroom	1.0/dwelling unit
2-bedroom	1.5/dwelling unit
3 or more bedrooms	2.0/dwelling unit
Lodging	1.0/room
Places of worship	1/4 seats (pews: 1 seat = 1.5 feet)
Assembly/Museum/Gallery	1/500 sq. ft. of net floor area open to the public
Institutional	1/300 sq. ft. of net floor area
General Office	1/350 sq. ft. of net floor area
Retail	1/300 sq. ft. of net floor area
Restaurant ¹	1/150 sq. ft. of net floor area or 1/4 seats, whichever is greater
Industrial/Manufacturing	1/500 sq. ft. of net floor area
Warehousing	1/1,000 sq. ft. of net floor area
<u>Marinas and Boatyards</u>	<u>1/5 dry boat storage spaces</u>
<u>Outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment</u>	<u>1/1,000 sq. ft. for outdoor display and sales area</u>

20
21 Note: ¹ Outdoor café seating shall be exempt from parking calculations.
22

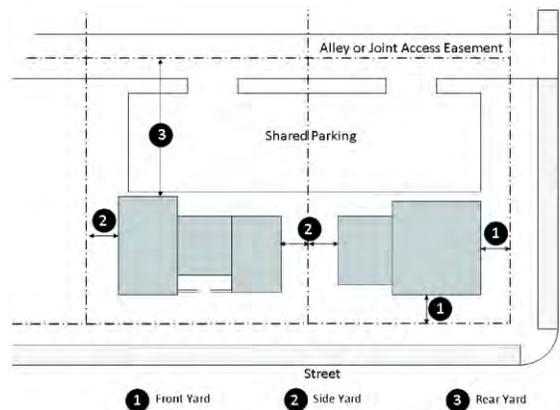
23 2. Adjustments to Parking Space Requirements: Developments which meet any of
24 the following standards may be exempted from the minimum parking requirements of this
25 section.
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- a. Public parking facilities. The CRA can make parking on CRA owned property available to meet the minimum parking requirements for new construction or redevelopment projects. An applicant must provide documentation stating the parking allocation has been approved by the CRA as part of the MUP, site development or site improvement plan process. The public parking facility must be located within one-half mile of the development. Once spaces are allocated to a specific property through the approval of the MUP, SDP or SIP, the applicant has one year to begin utilizing the parking. If the spaces are not used within one year, and an extension is not granted by the CRA, the spaces will be made available for reallocation and all development orders shall be revised accordingly.

* * * * *

- f. Connectivity. Parking lots are encouraged to connect to adjacent lots through the use of a joint access easement. If a joint access easement is provided for connectivity, then the minimum parking requirement for the use may be reduced by 10 percent.



BMUDBOZD and GTMUDGTOZD Area Figure 20
 Parking Diagram
 (For illustrative purposes only)

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- 3. On-Street Parking.
 - a. On-street parking may be allowed on local streets subject to an approved right-of-way permit to construct parking spaces in the public right-of-way. If swale enclosure is proposed, the design must comply with swale enclosure design criteria established in a the stormwater management plan approved by the South Florida Water Management District for the geographic area of the project Collier County Stormwater Management Section.

1
2 b. Any improvements within the right-of-way are subject to removal from the
3 right-of-way, or reset or relocation thereon as required and so notified by
4 the County, and at the expense of the owner Permittee, his successor, or
5 assignees.
6

7 bc. Parallel parking shall be a minimum of 9 feet wide by 23 feet long, but is
8 not required to be striped. For every 5 on-street parking spaces provided,
9 a landscape island that is 8 feet wide and 15 feet long and is surrounded
10 by Type D concrete curbing shall be provided, in addition to the pedestrian
11 clear zone landscape requirement. The corners adjacent to the travel lane
12 shall be angled at least 45 degrees away from perpendicular with the curb
13 in order to provide adequate ingress and egress from each parallel parking
14 space. Each island shall be planted with hedges, groundcover and/or
15 grasses less than 36 inches high and shall contain at least one small to
16 medium ornamental tree that is a minimum of 8 feet tall at the time of
17 planting.
18

19 ed. Angled parking may be 45 degrees or 60 degrees from the travel lane.
20 Spaces must be a minimum of 9 feet wide and 18 feet long. For every 8
21 on-street parking spaces provided, a landscape island that is 12 feet wide
22 and 15 feet long and is surrounded by Type D concrete curbing shall be
23 provided, in addition to the pedestrian clear zone landscape requirement.
24 The island shall be planted with hedges, groundcover, and/or grasses less
25 than 36 inches high and shall contain at least one small to medium
26 ornamental tree that is a minimum of 8 feet tall at the time of planting.
27

28 4. Off-Street Parking Location: Off-street parking is encouraged to be located to the
29 side or rear of the building in order to establish a pedestrian friendly environment.
30 Off-street parking in front of buildings abutting Bayshore Drive and Thomasson
31 Drive in the ~~BMUD~~BOZD and US 41, Davis Boulevard and Commercial Drive in
32 the mini-triangle area of the ~~GTMUD~~GTOZD shall not exceed 50 percent of that
33 building's parking requirements and shall be limited to a single-aisle double loaded
34 parking lot. Parking lots abutting Bayshore Drive may have perimeter walls
35 functioning as pedestrian seating or public art walls.
36

37 * * * * *

38
39 H. Murals. Murals are allowed as public art within the ~~Bayshore Gateway Triangle~~
40 ~~Redevelopment Area~~ BGTCRA subject to the following conditions:
41

42 # # # # # # # # # # # # # #
43
44

1 **4.02.17—4.02.21 – Reserved.**

2
3 Editor's note— Ord. No. 12-39, §§ 3.D—3.H, adopted September 25, 2012, repealed §§ 4.02.17—
4 4.02.21, which pertained to design standards for development in the BMUDBOZD—Waterfront
5 Subdistrict; Residential Subdistrict (R1); Residential Subdistrict (R2); Residential Subdistrict (R3);
6 Residential Subdistrict (R4) and derived from Ord. No. 06-08, §§ 3.K, 3.L, 3.O; Ord. No. 06-63,
7 §§ 3.R, 3.S; Ord. No. 07-68, §§ 3.D—3.G.

8
9 # # # # # # # # # # # # #

10
11 **10.02.15 – Requirements for Mixed Use Projects within the Bayshore Gateway Triangle**
12 **Redevelopment Area**

13
14 A. Mixed Use Project Approval Types. Owners of property located in the Bayshore Gateway
15 Triangle Redevelopment Area designated as Neighborhood Commercial (BMUDBOZD-
16 NC), Waterfront (BMUDBOZD-W), and Mixed Use (GTMUDGTOZD-MXD) Subdistricts
17 may submit an application for a Mixed Use Project (MUP). The MUP shall allow for a
18 mixture of residential and commercial uses, as permitted under the Table of Uses for the
19 appropriate subdistrict. Applications for a MUP may be approved administratively or
20 through a public hearing process as described in this section. A pre-application meeting
21 is required for all MUP applications.

22
23 1. Administrative Approval:

24
25 a. MUPs may be approved administratively provided they meet the following
26 conditions:

27
28 i. The MUP complies with all site development standards as outlined
29 in LDC section 4.02.16 ~~of the LDC~~;

30
31 ii. The MUP only includes permitted uses as outlined by the Table of
32 Uses for the subdistrict in which it is located; and

33
34 iii. The MUP does not seek additional density through the ~~Bonus~~
35 Density Bonus Pool Allocation provisions of LDC section 10.02.15
36 C.

37
38 2. MUPs Requiring Public Hearing:

39
40 a. MUPs that do not meet the thresholds for administrative approval may be
41 approved by the ~~Board of Zoning Appeals (BZA)~~ through a public hearing
42 process.

43
44 * * * * *

1
2 e. MUP approval shall expire and any residential density bonus units shall be
3 null and void and returned to the ~~bonus~~ density bonus pool allocation if any
4 of the following occur:

5
6 * * * * *
7

8 C. ~~Bonus~~ Density Bonus Pool Allocation. Under the Collier County Future Land Use
9 Element, bonus density units are available for reallocation within the Bayshore/Gateway
10 Triangle Redevelopment Overlay. The County Manager or designee will track the ~~Bonus~~
11 Density Bonus Pool Allocation balance as the units are used. These bonus density units
12 may be allocated between the BMUDBOZD and ~~GTMUD~~GTOZD overlays, and shall only
13 be allocated through a public hearing approval process.

14
15 To qualify for up to 12 dwelling units per acre, projects shall comply with the following
16 criteria. This density of up to 12 dwelling units per acre is only applicable until the bonus
17 density pool has been depleted.

18
19 1. The project shall be within the Neighborhood Commercial (~~BMUD~~BOZD-
20 NC), Waterfront (~~BMUC~~BOZD-W), or Commercial Mixed Use
21 (~~GTMUD~~GTOZD-MXD) Subdistricts, and shall be a mixed use project.

22
23 # # # # # # # # # # # # #
24

25 **10.03.06 – Public Notice and Required Hearings for Land Use Petitions**

26
27 This section shall establish the requirements for public hearings and public notices. This
28 section shall be read in conjunction with LDC section 10.03.05 and Chapter 8 of the Administrative
29 Code, which further establishes the public notice procedures for land use petitions.

30
31 A. Ordinance or resolution that is initiated by County or a private entity which does not change
32 the zoning atlas or actual list of uses in a zoning category but does affect the use of land,
33 including, but not limited to, land development code regulations as defined in F.S. §
34 163.3202, regardless of the percentage of the land affected. This is commonly referred to
35 as a LDC amendment.

36
37 * * * * *
38

39 N. Ordinance or resolution for an ~~an mixed-use project (MUP)~~ located in the mixed use
40 subdistrict of the BOZD or GTOZD overlay which seeks to utilize the ~~Bonus~~ Density Bonus
41 Pool Allocation or request deviations exceeding administrative approval, pursuant to LDC
42 section 10.02.15:

43
44 # # # # # # # # # # # # #

Exhibit A – Exhibit Title

1 **Chapter 110 – ROADS AND BRIDGES^[1]**

2
3 * * * * *
4

5 **ARTICLE II. – CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY^[2]**

6
7 **DIVISION 1. – GENERALLY**

8
9 * * * * *
10

11 Except as specifically set forth in [the Bayshore Gateway Triangle Community Redevelopment](#)
12 [Area in LDC section 4.02.16.F\(3\) and in](#) the "Collier County Swale/Culvert Ordinance Naples
13 Park," set forth below in Section 110-41 et seq., the enclosure of swales within the public rights-
14 of-way is hereby prohibited. The transportation administrator or his designee is authorized to
15 review and approve deviations from this policy when documented by substantial competent
16 evidence in accordance with the guidelines set forth in the handbook. In addition, the
17 transportation administrator or his designee will continually inspect existing culverts and swale
18 enclosures within the public rights-of-way to ascertain their condition and their effect on the
19 roadside drainage system, and will require any necessary repairs and improvements to existing
20 culverts and swale enclosures located within the public rights-of-way.

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22 # # # # # # # # # # # # #

Exhibit A – Changes to Zoning Atlas Maps

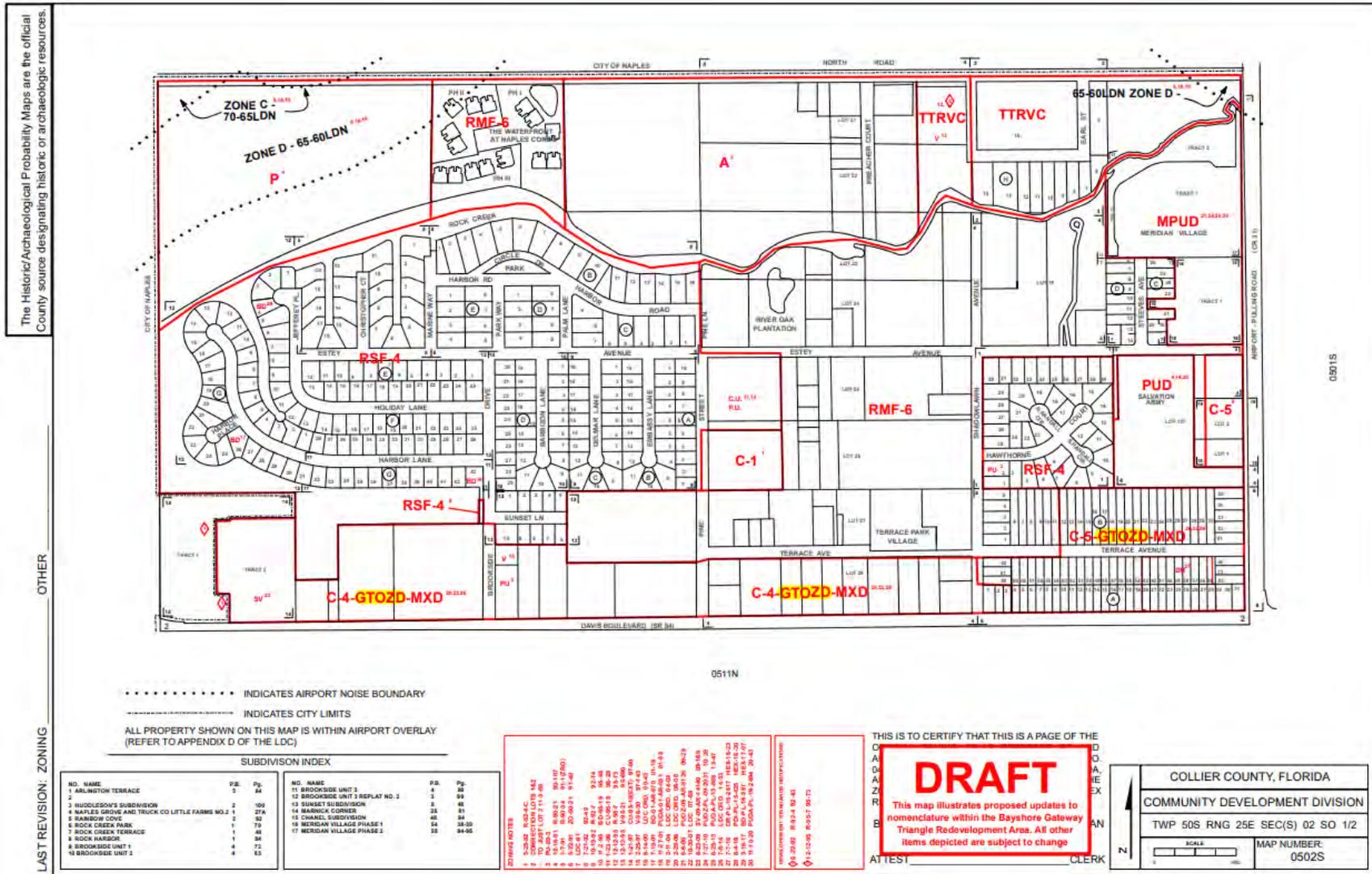
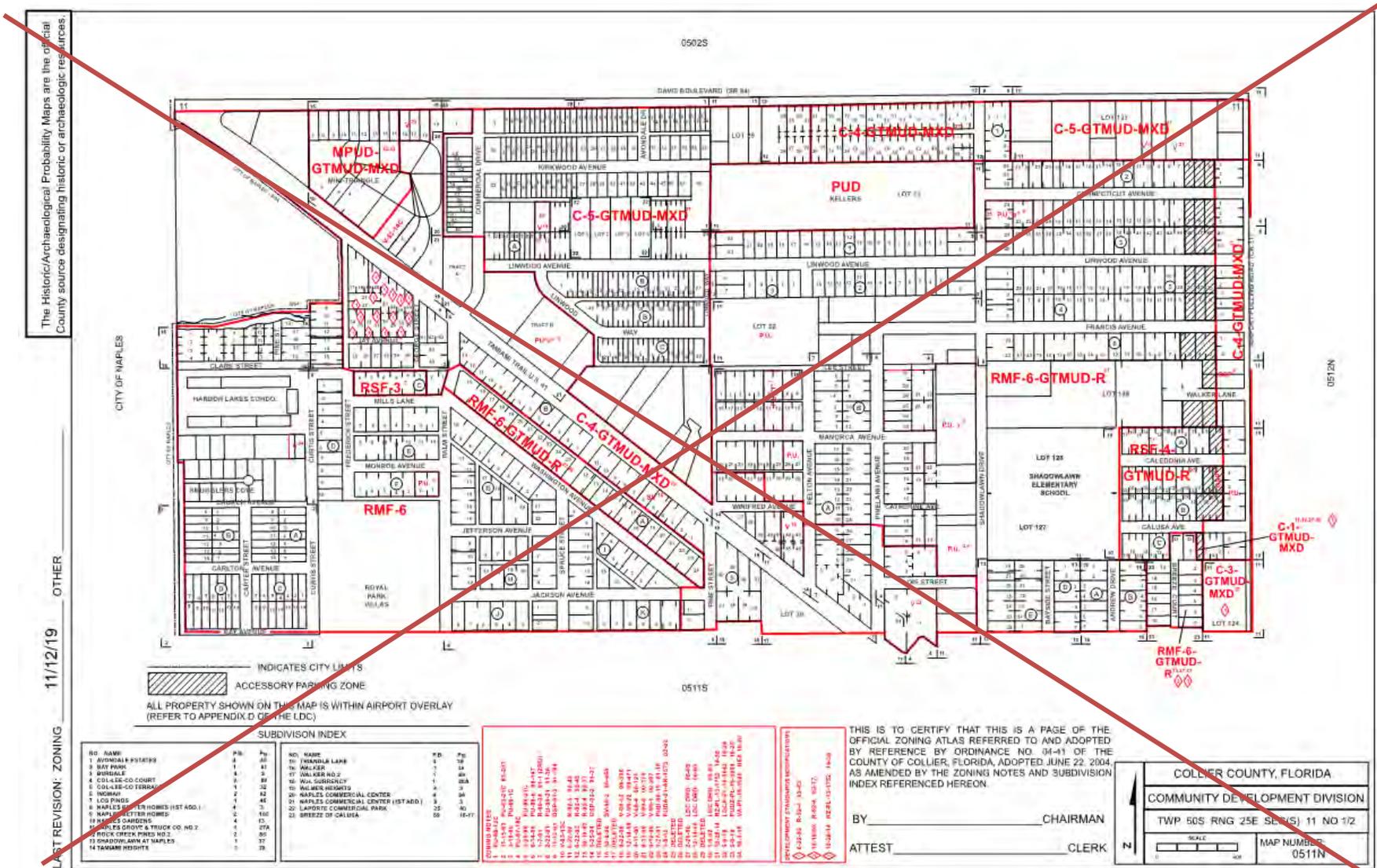


Exhibit A – Changes to Zoning Atlas Maps



The Historic/Archaeological Probability Maps are the official County source designating historic or archaeological resources.

LAST REVISION: ZONING 11/12/19 OTHER

INDICATES CITY LIMITS
 ACCESSORY PARKING ZONE
 ALL PROPERTY SHOWN ON THIS MAP IS WITHIN AIRPORT OVERLAY (REFER TO APPENDIX D OF THE LDC)

SUBDIVISION INDEX

NO.	NAME	PIN	NO.	NAME	PIN
1	AVONDALE ESTATES	4 45	15	WALKER LANE	4 78
2	BAY PARK	1 81	16	WALKER	4 79
3	BORSALE	4 2	17	WALKER RD. 2	4 80
4	COLLEGE-CO COURT	3 89	18	WALKER SURRENCY	4 81
5	COLLEGE-CO TERRA	1 32	19	WALKER HEIGHTS	4 82
6	INORANI	2 82	20	MAPLES COMMERCIAL CENTER	4 83
7	LOS PINOS	1 45	21	MAPLES COMMERCIAL CENTER (STARD)	4 84
8	MAPLES BOUTER HOMES (HST ADD.)	4 3	22	LAFORTE COMMERCIAL PARK	3 25
9	MAPLES BOUTER HOMES	2 116	23	BREEZE OF CALUNA	3 26
10	MAPLES GARDENS	4 15			
11	MAPLES DRIVE & TRUCK CO. RD. 2	4 37A			
12	ROCK CREEK PINE RD. 2	2 85			
13	SHADOWLAWN AT MAPLES	1 37			
14	TAMAR HEIGHTS	3 28			

FORMAL NOTES

1	10-14-19	10-14-19
2	10-14-19	10-14-19
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4	10-14-19	10-14-19
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47	10-14-19	10-14-19
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49	10-14-19	10-14-19
50	10-14-19	10-14-19

THIS IS TO CERTIFY THAT THIS IS A PAGE OF THE OFFICIAL ZONING ATLAS REFERRED TO AND ADOPTED BY REFERENCE BY ORDINANCE NO. 04-41 OF THE COUNTY OF COLLIER, FLORIDA, ADOPTED JUNE 22, 2004, AS AMENDED BY THE ZONING NOTES AND SUBDIVISION INDEX REFERENCED HEREON.

BY _____ CHAIRMAN
 ATTEST _____ CLERK

COLLIER COUNTY, FLORIDA
 COMMUNITY DEVELOPMENT DIVISION
 TWP 50S RNG 25E SER(S) 11 NO 1/2
 SCALE 1"=400'
 MAP NUMBER 0511N

Exhibit A – Changes to Zoning Atlas Maps

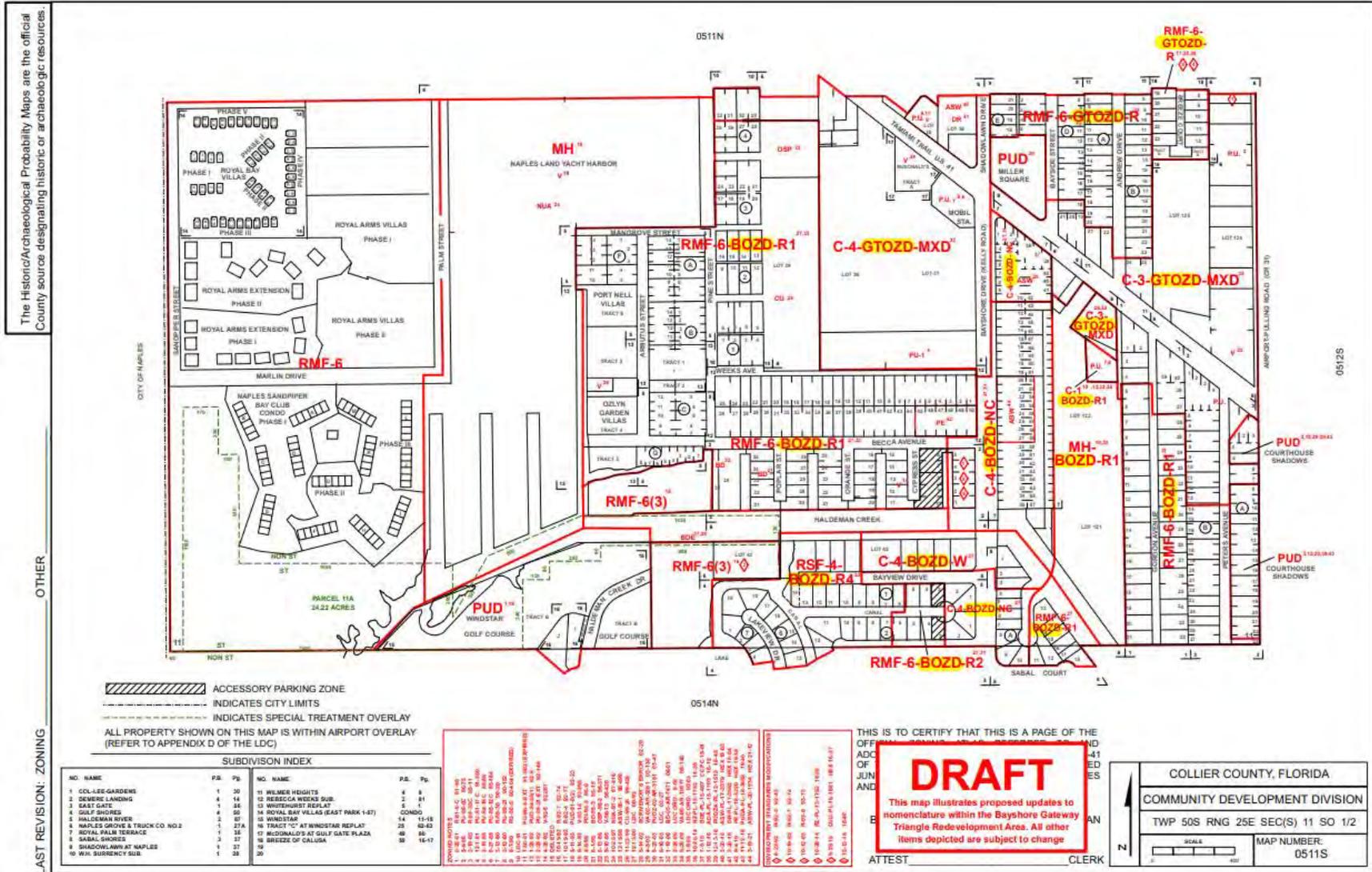
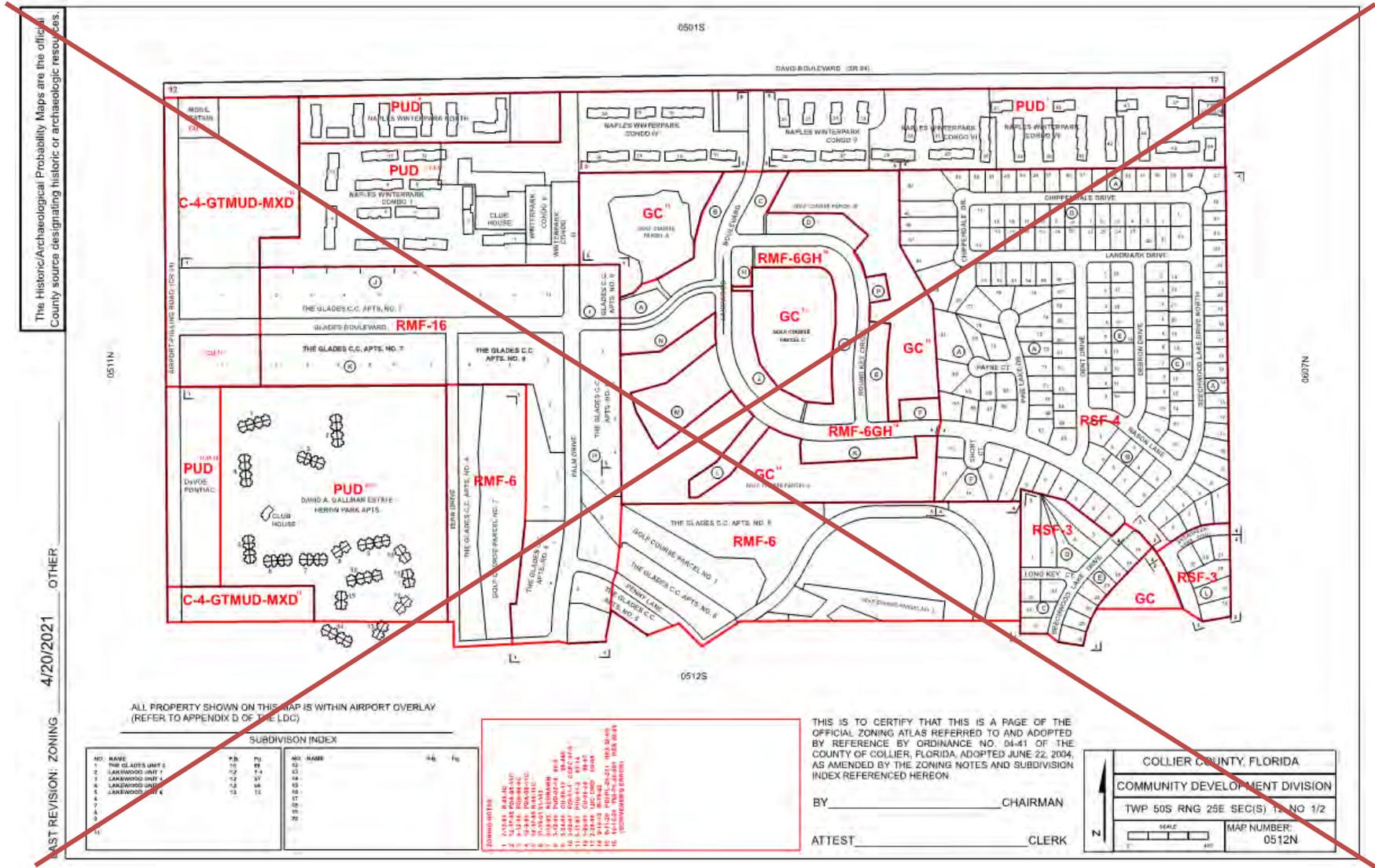


Exhibit A – Changes to Zoning Atlas Maps



The Historic/Archaeological Probability Maps are the official County source designating historic or archaeological resources.

LAST REVISION: ZONING 4/20/2021 OTHER

ALL PROPERTY SHOWN ON THIS MAP IS WITHIN AIRPORT OVERLAY (REFER TO APPENDIX D OF THE LDC)

SUBDIVISION INDEX			
NO.	NAME	P.B.	P.2
1	THE GLADES UNIT 2	12	12
2	LAKEWOOD UNIT 1	12	12
3	LAKEWOOD UNIT 2	12	12
4	LAKEWOOD UNIT 3	12	12
5	LAKEWOOD UNIT 4	12	12

NO.	NAME
1	THE GLADES UNIT 2
2	LAKEWOOD UNIT 1
3	LAKEWOOD UNIT 2
4	LAKEWOOD UNIT 3
5	LAKEWOOD UNIT 4
6	LAKEWOOD UNIT 5
7	LAKEWOOD UNIT 6
8	LAKEWOOD UNIT 7
9	LAKEWOOD UNIT 8
10	LAKEWOOD UNIT 9
11	LAKEWOOD UNIT 10
12	LAKEWOOD UNIT 11
13	LAKEWOOD UNIT 12
14	LAKEWOOD UNIT 13
15	LAKEWOOD UNIT 14
16	LAKEWOOD UNIT 15
17	LAKEWOOD UNIT 16
18	LAKEWOOD UNIT 17
19	LAKEWOOD UNIT 18
20	LAKEWOOD UNIT 19
21	LAKEWOOD UNIT 20

THIS IS TO CERTIFY THAT THIS IS A PAGE OF THE OFFICIAL ZONING ATLAS REFERRED TO AND ADOPTED BY REFERENCE BY ORDINANCE NO. 04-41 OF THE COUNTY OF COLLIER, FLORIDA, ADOPTED JUNE 22, 2004, AS AMENDED BY THE ZONING NOTES AND SUBDIVISION INDEX REFERENCED HEREON.

BY _____ CHAIRMAN

ATTEST _____ CLERK

COLLIER COUNTY, FLORIDA
 COMMUNITY DEVELOPMENT DIVISION
 TWP 50S RING 25E SEC(S) 12, NO 1/2

SCALE: 1" = 400'

MAP NUMBER: 0512N

Exhibit A – Changes to Zoning Atlas Maps

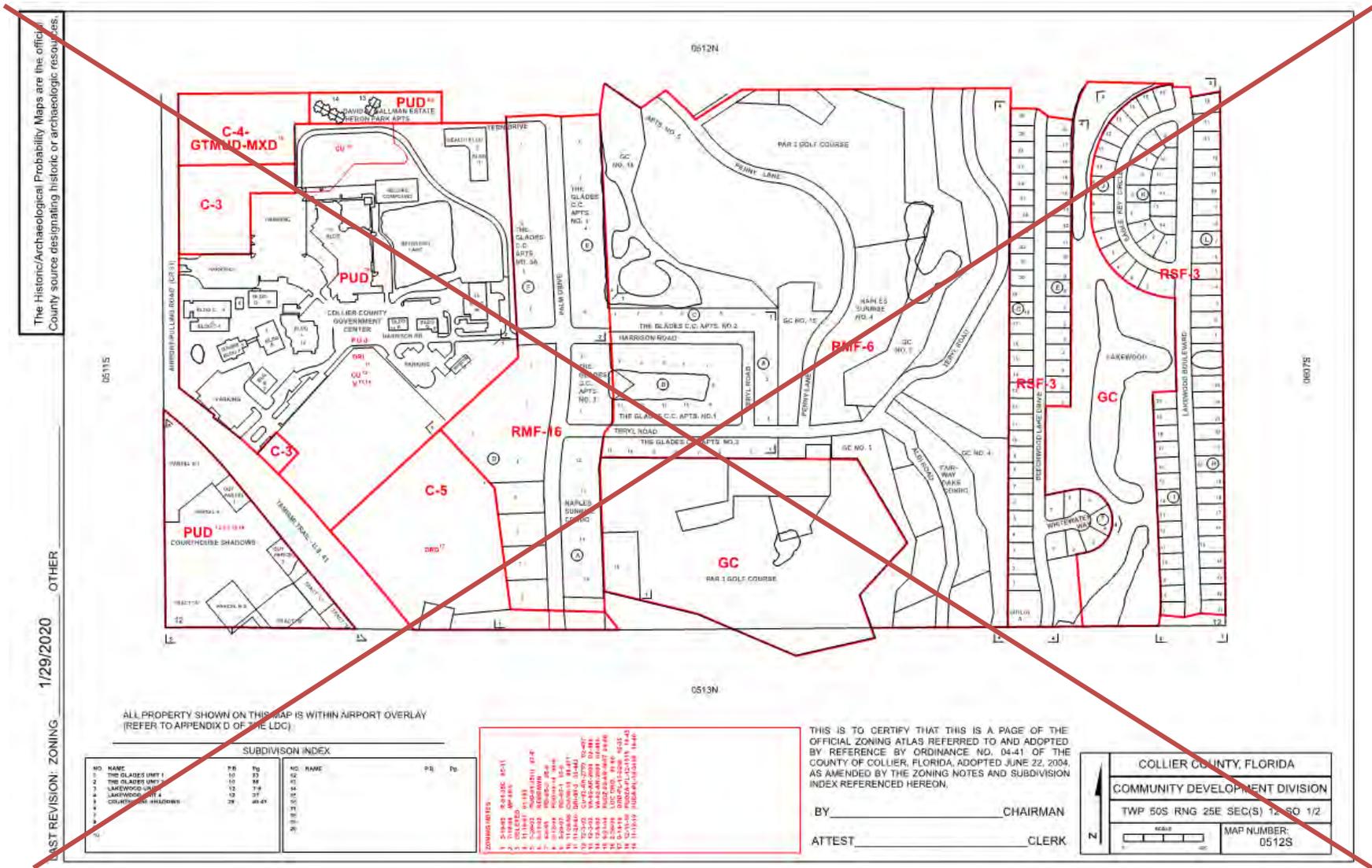


Exhibit A – Changes to Zoning Atlas Maps

The Historic/Archaeological Probability Maps are the official County source designating historic or archaeological resources.

OTHER
LAST REVISION: ZONING

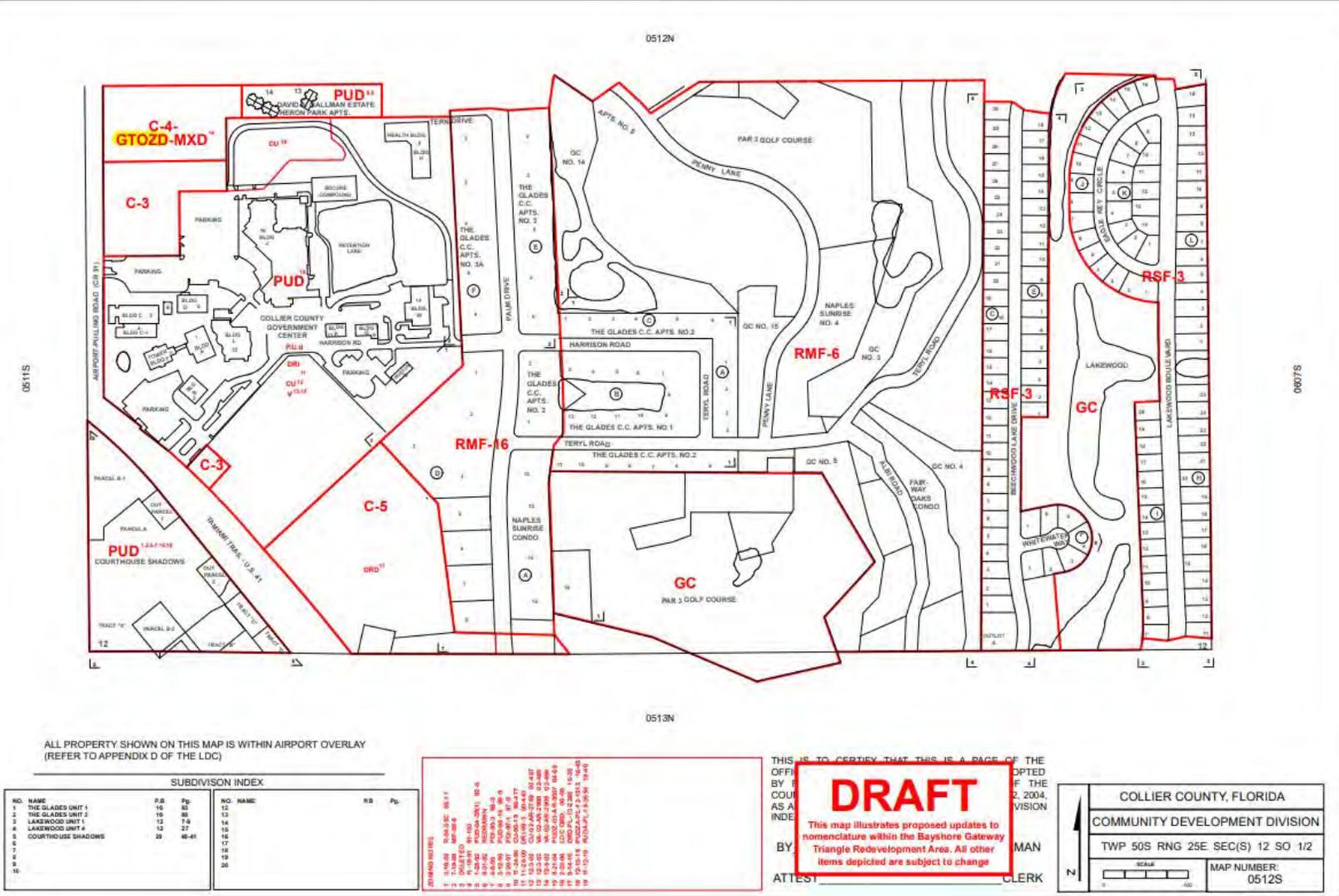
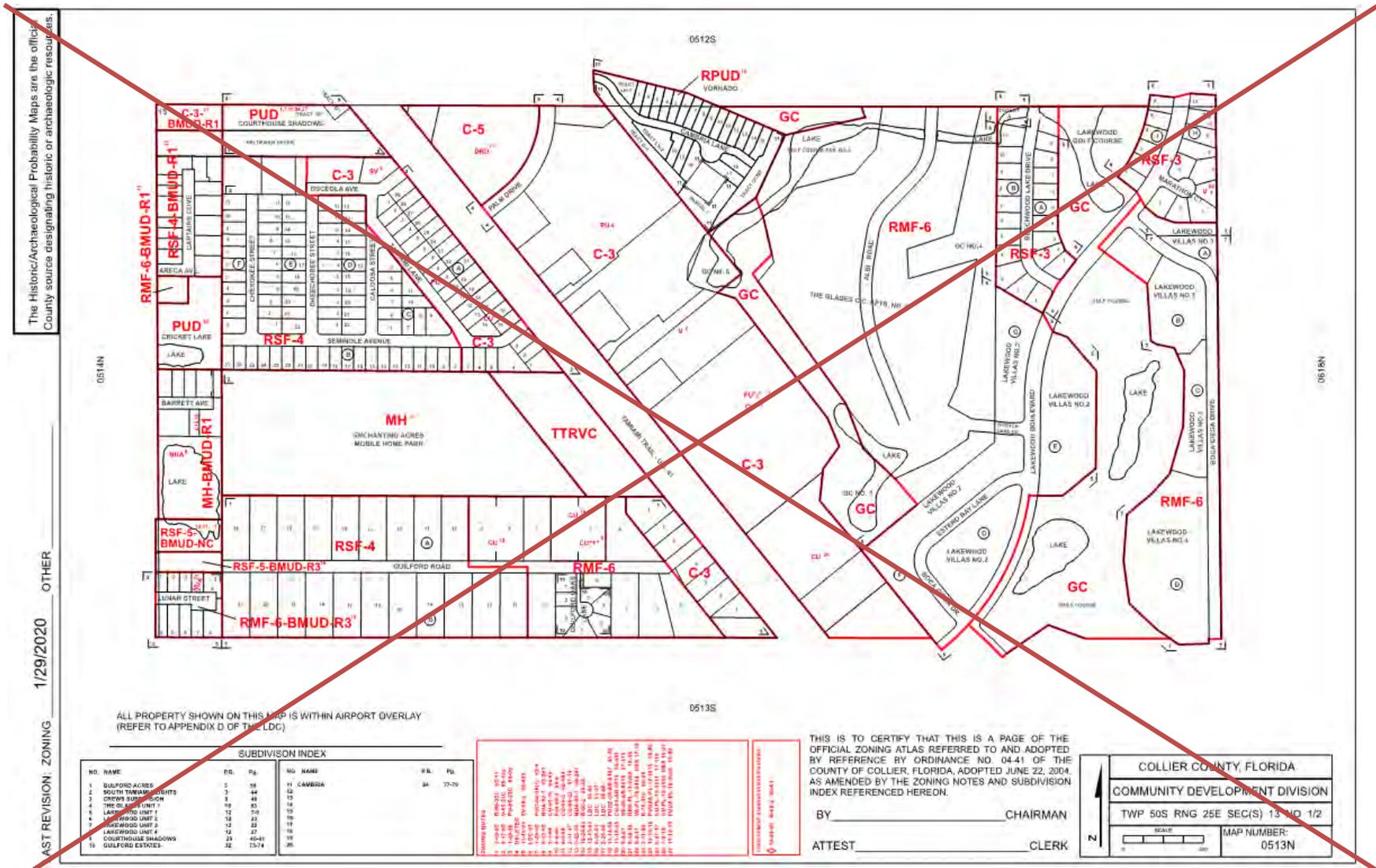


Exhibit A – Changes to Zoning Atlas Maps



HISTORIC/ARCHAEOLOGICAL PROBABILITY MAPS ARE THE OFFICIAL COUNTY SOURCE DESIGNATING HISTORIC OR ARCHAEOLOGICAL RESOURCES.
 1/29/2020
 ZONING
 OTHER

ALL PROPERTY SHOWN ON THIS MAP IS WITHIN AIRPORT OVERLAY (REFER TO APPENDIX D OF THE LDC)

SUBDIVISION INDEX						
NO.	NAME	P.B.	Pg.	NO.	P.B. Pg.	
1	GULFORD ACRES	5	59	4	CAMBERA	54 77-79
2	SOUTH TOWNHOMES	3	44	5		
3	DREWS SUBDIVISION	1	49	6		
4	THE OAKS UNIT 1	10	95	7		
5	LAKEWOOD UNIT 1	12	70	8		
6	LAKEWOOD UNIT 2	12	23	9		
7	LAKEWOOD UNIT 3	12	22	10		
8	LAKEWOOD UNIT 4	12	27	11		
9	COURTHOUSE SHADOWS	23	45-47	12		
10	GULFORD ESTATES	32	73-74	13		

ZONING DISTRICTS	
1	RMF-6 (RMF-6-BMUD-R1, RMF-6-BMUD-R3)
2	RSF-4 (RSF-4-BMUD-R1, RSF-4-BMUD-R3)
3	C-3 (C-3-T, C-3-T2)
4	PUD (PUD-COURTHOUSE SHADOWS, PUD-CRICKET LAKE)
5	MH (MH-CHARMING ACRES MOBILE HOME PARK)
6	TTRVC (TOWNHOMES/TOWNHOMES WITH VILLAS)
7	GC (GENERAL COMMERCIAL)

THIS IS TO CERTIFY THAT THIS IS A PAGE OF THE OFFICIAL ZONING ATLAS REFERRED TO AND ADOPTED BY REFERENCE BY ORDINANCE NO. 04-41 OF THE COUNTY OF COLLIER, FLORIDA, ADOPTED JUNE 22, 2004 AS AMENDED BY THE ZONING NOTES AND SUBDIVISION INDEX REFERENCED HEREON.

BY _____ CHAIRMAN
 ATTEST _____ CLERK

COLLIER COUNTY, FLORIDA
 COMMUNITY DEVELOPMENT DIVISION
 TWP 50S RING 25E SEC(S) 13 ND 1/2
 SCALE
 MAP NUMBER: 0513N

Exhibit A – Changes to Zoning Atlas Maps

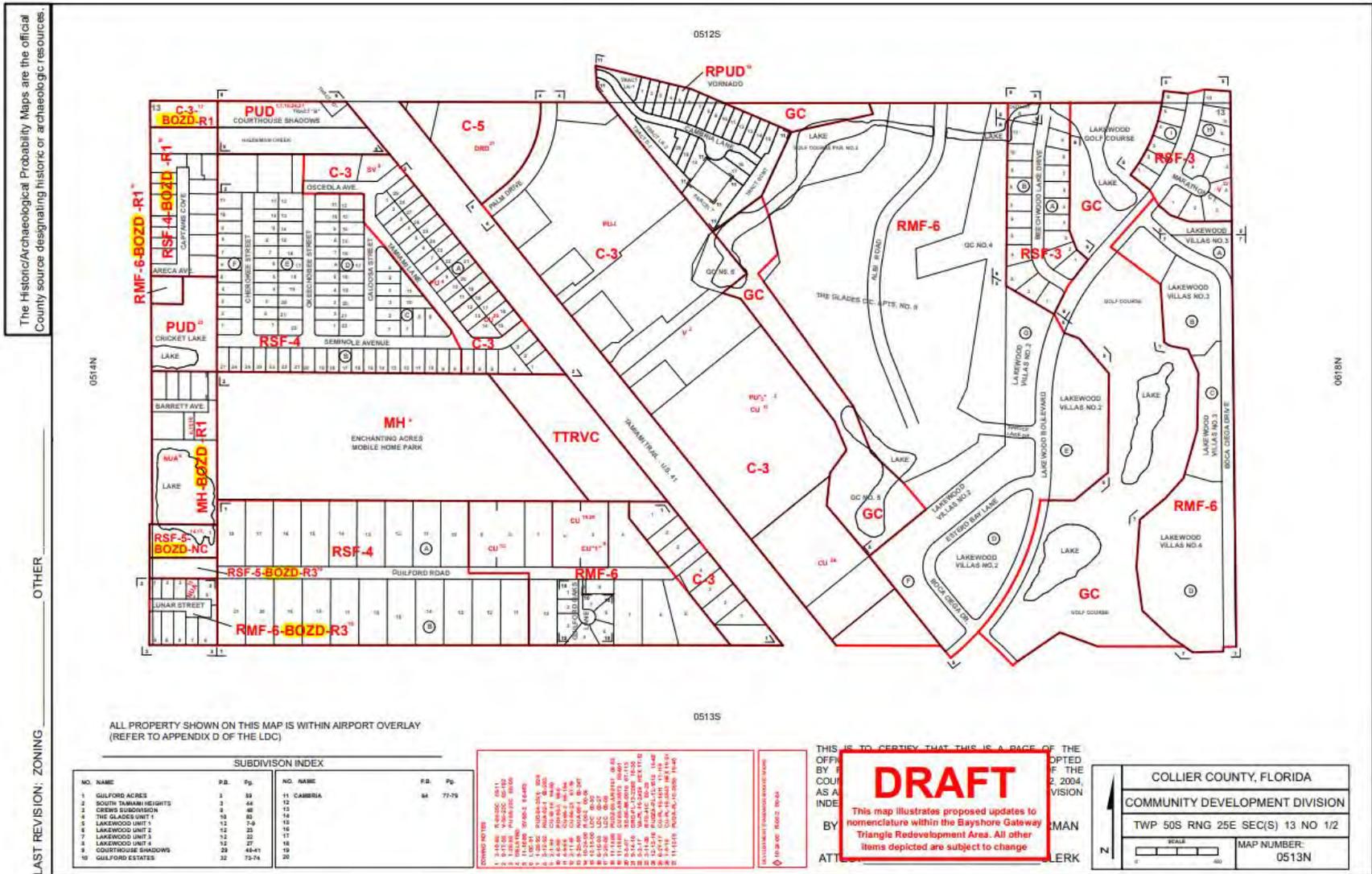


Exhibit A – Changes to Zoning Atlas Maps

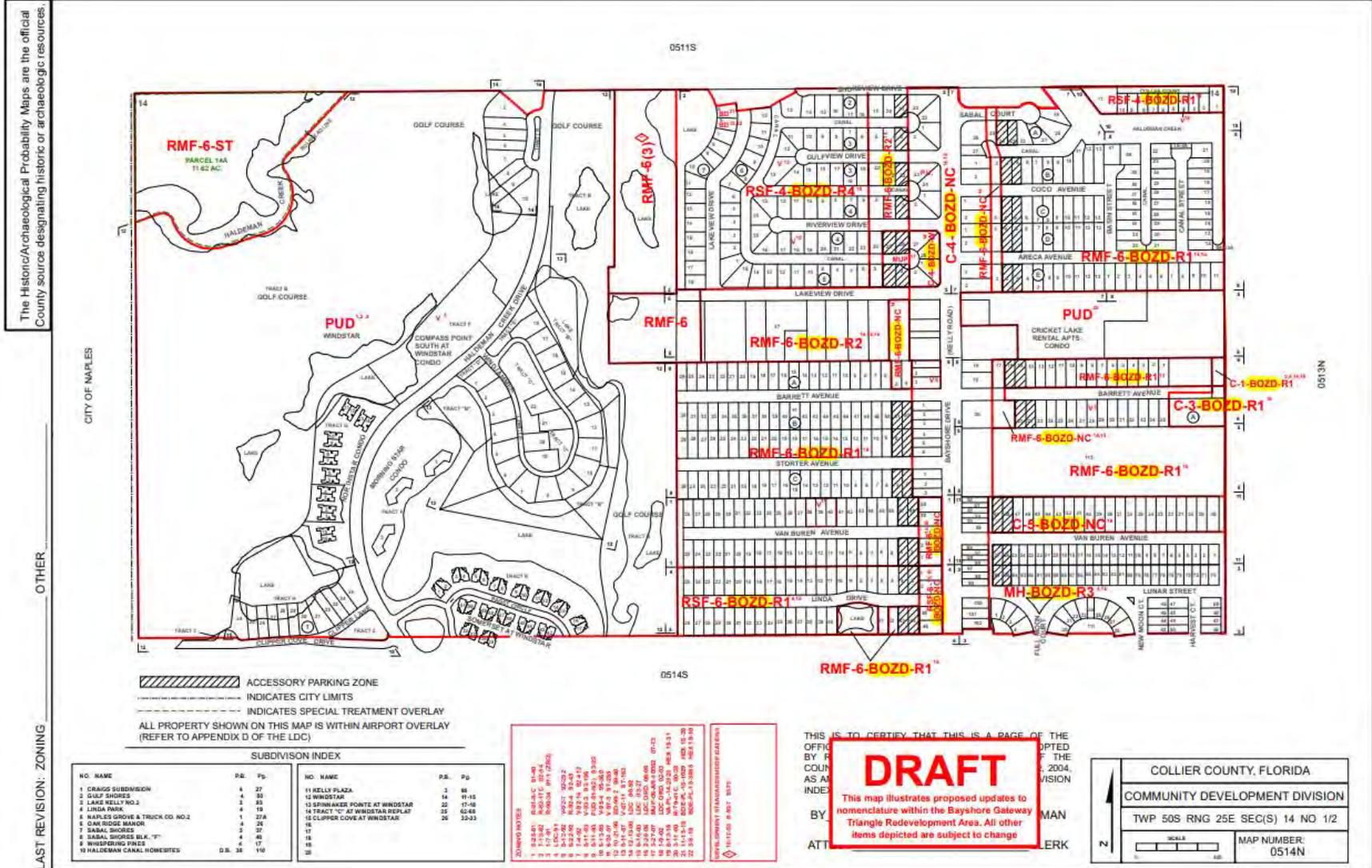


Exhibit A – Changes to Zoning Atlas Maps

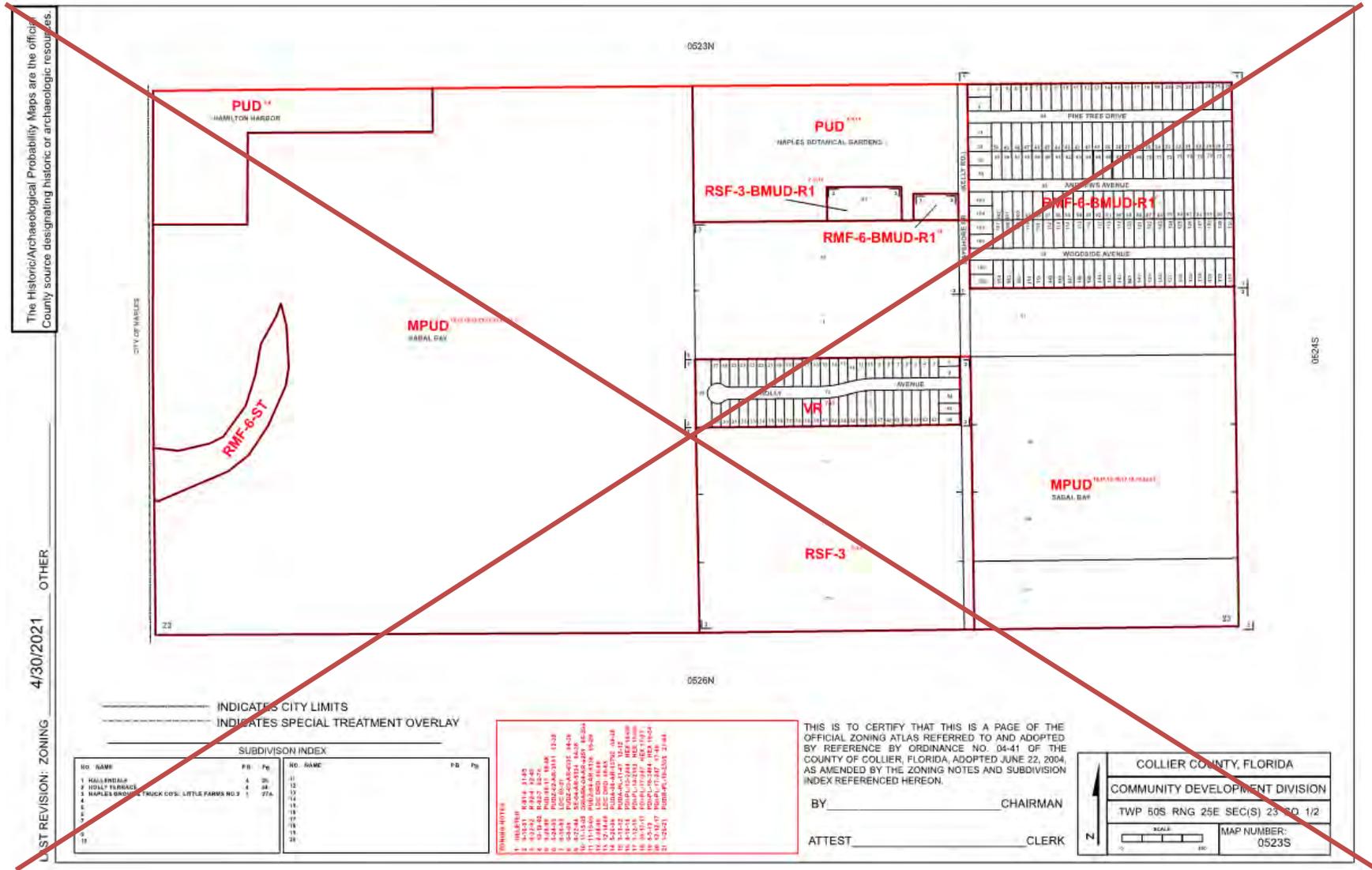


Exhibit A – Changes to Zoning Atlas Maps

