



Bayshore Gateway Triangle CRA • Bayshore Beautification MSTU  
Haldeman Creek MSTU

Bayshore Gateway Triangle Community Redevelopment Agency

**AGENDA**

**Hybrid Virtual Zoom Meeting**

**3299 Tamiami Trail 3rd Floor BCC Chambers, Naples, FL 34112**

**January 11, 2021**

**6:00 PM**

Chairman Maurice Gutierrez

Karen Beatty, Larry Ingram, Dwight Oakley, Steve Main, Michael Sherman,  
Al Schantzen, Camille Kielty. Steve Rigsbee

**1. Call to order and Roll Call**

**2. Pledge of Allegiance**

**3. Approval of Agenda**

**4. Approval of Minutes**

- a. December 1, 2021 (Attached)

**5. Community / Business Presentations**

**6. New Business**

- a. Election of Chair and Vice Chair
- b. Proposed Disposal of Collier County owned real properties in the vicinity of the Bayview Park – Barry Williams (attachment)
- c. CBIG Grant Status
- d. MHK Architecture Commercial Building Improvement Grant

**7. Old Business**

- a. Access Management Plan- Norm Trebilcock
- b. Regulatory Changes – Laura DeJohn (Attachment)
- c. Public Art Plan Revisions – Debrah Forester (Attachment)
- d. P6NT/London of Naples Request for Incentive Update– Debrah Forester
- e. Branding – Debrah Forester (Attachment)

3299 Tamiami Trail E, Unit 103, Naples, Florida 34112  
Phone: 239-252-8844  
[www.bayshorecra.com](http://www.bayshorecra.com)



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**8. Staff Report**

- a. CRA Directors Project Report- (Attachment)
- b. Project Manager's Report – (Attachment)
- c. Private Development Report – (Attachment)
- d. Maintenance Report - (Attachment)
- e. Financials – (Attachment)

**9. Other Agencies -**

- a. Collier County Sheriff Department
- b. Collier County Code Enforcement (Attachment)

**10. Communication and Correspondence**

**11. Public Comment**

**12. Staff Comments**

**13. Advisory Board General Communication**

**14. Next meeting**

- a. February 2, 2021

**15. Adjournment**



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## **Agenda item 4a– December 1, 2020 Meeting Minutes**

### **BAYSHORE/GATEWAY TRIANGLE COMMUNITY REDEVELOPMENT LOCAL ADVISORY BOARD MINUTES OF THE DECEMBER 1, 2020 MEETING**

The meeting of the Bayshore/Gateway Triangle Community Redevelopment Advisory Board was called to order by Chairman, Maurice Gutierrez at 6:00 p.m.

- I. Roll Call:** Advisory Board Members Present: Maurice Gutierrez, Steve Main, Al Schantzen, Karen Beatty, and Mike Sherman. Dwight Oakley, Steve Rigsbee, Camille Kielty and Larry Ingram had an excused absence.

**CRA Staff Present:** Debrah Forester, CRA Director; Tami Scott, Project Manager; Ellen Summers, Principal Redevelopment Specialist; and Shirley Garcia, Operations Coordinator.

- II. Pledge of Allegiance**

- III. Adoption of Agenda:** Debrah Forester amended the Agenda to table 6c Access Management Plan and 7b. MHK CBIG Grant Application until the January 2021 meeting. Al Schantzen made a motion to adopt the agenda as amended, Steve Main seconded the motion. Motion passed unanimously.

- IV. Approval of Minutes:** Steve Main made a motion to approve the November 3<sup>rd</sup>, meeting minutes, Al Schantzen seconded the motion. Motion passed unanimously. Mike Sherman made a motion to approve the November 12<sup>th</sup> meeting minutes, Al Schantzen second the motion. Approved unanimously.

- V. Community / Business - Presentations**

- VI. Old Business:**

**a. Linwood Way Landscaping-** Tami Scott presented the landscape recommendations the design professional submitted to buffer the industrial/commercial businesses off Linwood Way and the residential properties on Lee Street. The installation for the landscaping including permit is estimated at \$11,053 and annual maintenance is estimated at \$1200. Steve Main was concerned about the CRA sunseting and there is no MSTU, the landscape would just die. Ms. Forester suggested that Road Maintenance could pick up the landscape maintenance after the CRA ended or perhaps a new MSTU would be formed for that area. Karen Beatty suggested using landscaping that would not require water. Staff confirmed Florida Friendly landscaping would be used. After much discussion on the costs, monthly maintenance and water costs. Steve Main made a motion to approve the staff's recommendation to proceed, second by Karen Beatty. Motion was passed with one Nay. Motion Passed.

**b. Joint Meeting with MSTU Advisory Committee** – Ms. Forester provided the update to the approved 2021 Advisory Board Meeting Calendar with the



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Annual Joint Workshop meeting moved to May 4<sup>th</sup>. The consensus of the Advisory Board members agreed and accepted the change.

**VII. New Business:**

**VIII. January 12, 2021 Election of Officers** – Ms. Forester reminded the Advisory Board that the elections of Chair and Vice Chair appointments will be on the first meeting on the January agenda as an action item as stated in the bylaws.

**IX. Staff Report:**

**a. CRA Directors Report:** Ms. Forester highlighted some of the projects within the area:

- The CRA is officially debt free, the Mini-Triangle closed on November 13. A new partner Naples Triangle Development purchased one of the three development parcels. They will be building luxury apartments so there should be some activity there soon.
- Gateway of Naples is requesting the BCC consider authorizing a TIF Rebate for the development of the two acres adjacent to the mini-triangle property. The developer requested the incentive at the October 13<sup>th</sup> BCC meeting and the BCC directed staff to bring the item back on December 8<sup>th</sup> after staff had an opportunity to review and bring back some suggestions. Ms. Forester noted that there is no formalized TIF Rebate program currently in place in Collier County to determine the requirements. In other CRAs the programs generally require a public benefit or financial gap to authorize this type of incentive. Staff requested additional information from the Developer to determine if there was a financial need to develop the site, but the developer declined submitting any additional information. The Developer did provide an Economic Impact Analysis that estimated the number of jobs and taxes it would bring locally when it gets developed. Staff is recommending that the request is denied or if the Board approved the request that consideration be given to request the developer contribute to capital investments that would benefit the entire community such as undergrounding the electric lines on US41 and contributing to the public art fund. After much discussion from the CRA Board Members, Al Schantzen made a motion to support staff's recommendation on not approving the TIF Rebate request from the developer, second by Steve Main. Approved Unanimously.
- Del's Acquisition was closed on November 20<sup>th</sup> and tenants received a notice to vacate in 60 days, so they have until January 19<sup>th</sup> to vacate the property. Staff is working with Facilities Management to demo the store and warehouse once the tenants move out. The small building located where the boat yard is operating will remain and staff can possibly use the building for storage. Al Schantzen asked if there will be a walk through before the demolition with the Advisory Board Members and if

there was anything salvageable like refrigerators, or appliances and Ms. Forester said yes they will remove anything still in good condition and staff will send out an email if anyone was interested in going in one at a time.

- Public Art Plan, this will be on the board's agenda on January 26, 2021. There will be some changes related to the management component. Staff is removing the reference to United Arts Council to allow it to be more flexible – either a contract with an organization, a consultant or staff could handle the management.
  - The Boardwalk to Sugden Park is in the que at procurement so that will take several months to get a design professional approved.
  - Ms. Forester contacted the consultants on the branding project and since Thomasson Drive will be done soon this is a great opportunity to establish a design for the new banners that will be going on to the light poles.
  - The Bayshore Shuttle survey has gone out to the businesses in Bayshore area and if anyone has a chance to see the posters or coasters staff recommends taking the survey, Mike Sherman recommends bringing the posters to all the homeowners associations or large complexes within the area because they would use the shuttle service.
  - Land Use Regulations, staff has reviewed all the comments and made the revisions as appropriate and will be bringing this item back at the January meeting.
- b. Project Manager Report:** Tami Scott highlighted a few of the projects on her report:
- Fire Suppression Phase III. The contract has been approved with the contractor - Andrew Site Work. This is on a timeline of 180 days. Start date is being discussed with the contractor. This project is another partnership with the City of Naples and based on the grant it needs to be completed by April 30, 2021. Equipment will be stored in the Right of Way. Al Schantzen asked about the letter that was sent out with some verbiage about enhancements that will be done with this project and Ms. Scott elaborated on a meeting with County Staff, Stormwater, Road Maintenance. Staff met on site and identified some improvements that are outside of the scope of this project but could be completed after the grant project is finished. Staff is developing cost estimates. Karen Beatty had some concerns with this project causing foundation issues, but Ms. Scott reassured Ms. Beatty that there is no jack hammering or blasting that will be done during this project there is only backhoe type machinery that will be used.
  - The CRA Parking lot will be done in 160 days after the notice to proceed. Staff is meeting with contractor to discuss start date.
  - Thomasson Drive - The project is on schedule and she provided updates on the entire schedule to date. There was a change order that has extended the work for 30 days. The contractor may complete the project



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before the May 5<sup>th</sup> deadline. Al Schantzen asked if there were plans on the Hamilton Avenue improvement project, Ms. Forester said she reached out to Barry Williams and will be able to share the plans with the Board in January.

- Christmas decorations have been installed with a live bromeliad Christmas tree, which will be lit up in a couple of days. The menorah has been put up and will be lit.
- c. **Private Development Update-** Ellen Summers, provided updates on the new developments submitted into the County. Ms. Summers has 2 new updates and the first one is the confirmed hearing dates for Sabal Bay at the Collier County Planning Commission on November 19, it was approved and is scheduled to go before the Board of County Commissioners on January 12<sup>th</sup> and once it is 100% confirmed staff will send out a reminder to the community. Camden Landings is scheduled for the January 21<sup>st</sup> Planning Commission. Ms. Summers updated the members on the jet ski rentals noting that jet ski rentals would require a conditional use permit which requires an application and review by growth management division staff and a public hearing process, neighborhood informational meeting and the applicant would have to justify that use is compatible with the surrounding neighborhood. There has not been a formal application submitted at this time and staff will update the board if a pre application meeting is scheduled or a formal application has been submitted.
- d. **Maintenance Report:** Ms. Forester provided the current maintenance report and noted no updates.
- e. **Financial Report:** Ms. Forester provided the current financial report.

X. **Other Agency's:**

- a. **Collier County Code Enforcement:** Mr. Johnson noted his report included in the agenda packet and asked if anyone had any questions. Al Schantzen asked about the Haitian Church and asked if the silt fence was going in. Mr. Johnson is waiting for the building official to make a decision on whether or not a silt fence is required. Karen Beatty asked about 3010 Coco Ave, the owner has given notice to vacate and there is no electric or water because it will be demolished soon but there are still vagrants living there and was wondering if the owner needs to do an official eviction. Mr. Johnson was not sure but if the owner wanted to call him, he provided his cell phone number. Al Schantzen asked about the County owned lot on Areca and wanted to bring up that it is overgrown, and the County needs to be mowed again.
- b. **Collier County Sheriff's Office:** No Representative attended.

XI. **Communications and Correspondence:** Triangle Development Article-attachment was provided if anyone had any questions.



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**XII. Public Comments:** Tish Dawson asked if staff could post the survey poster on Next Door. Ms. Beatty said she would post it. Ms. Dawson had mentioned the Mexican Restaurant Molcajetes has a mess behind their restaurant or could they be forced to pick up all the garbage because it looks horrible. They rinse all their greasy grills, throw paper when they wipe down on the ground and it's a mess. Mr. Johnson will investigate the issue.

**XIII. Staff Comments:**

**XIII. Advisory Board General Communications:** Al Schantzen asked about the grant monitoring process and if there is a way to track or follow up on their progress. Ms. Forester explained the tracking log that staff keeps to confirm progress is being made. If the Advisory Board wants to review it staff can add it to the packet or put it on the agenda when an applicant comes in for a new grant. Mike Sherman asked about a final plat Barrett Avenue, listed on the private development report. Ms. Summers noted that at one point someone had submitted an application to split the lot but no further action has been taken. Ms. Forester suggested staff add a date next to the action to better track progress. Maurice Gutierrez wanted to say that the Christmas lights have never looked better on Bayshore Drive and he wants to do this every year. Steve Main wanted to know when we could go back to the Botanical Gardens to do our meetings again because the Community hasn't been showing up. Ms. Forester mentioned due to COVID right now the Botanical Garden is not available for community meetings, and maybe in May for the Joint Workshop we can resume our meetings at that location.

**XIV. Next Meeting Date:**

a. January 12, 2021 @ 6pm

**XV. Adjournment** – The meeting adjourned at 7:35 p.m.

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Chairman Maurice Gutierrez

Item 6b

**BAYVIEW PARK SURPLUS PROPERTIES  
LOCATION MAP**



- Vacant Lot
- Duplex
- Single Family

Item 6c

**BAYSHORE GATEWAY TRIANGLE COMMERCIAL IMPROVEMENT GRANT**  
Status December 2020

BAYSHORE GATEWAY TRIANGLE COMMERCIAL IMPROVEMENT GRANT							
Status December 2020							
<b>Budget 2017</b>	<b>\$ 50,000.00</b>						
<b>Project Name</b>	<b>Amount Awarded</b>	<b>Date Awarded</b>		<b>Need to be completed by:</b>	<b>Amount Paid</b>	<b>Outstanding Commitments</b>	<b>Paid in FY18</b>
Leightons Garage	\$ 3,822.90	5/23/2017		4/5/2018	Completed	Paid-6/10/18	\$ 3,822.90
El Rincon	\$ 9,999.50	10/24/2017		10/25/2018	Completed	Paid-9/26/18	\$ 9,999.50
Western Bike Shop	\$ 16,830.00	11/14/2017		12/8/2018	Completed	Paid-11/28/18	\$ 16,830.00
<b>Total</b>	<b>\$ 30,652.40</b>						<b>\$ 30,652.40</b>
<b>Budget 2018</b>	<b>\$ 75,000.00</b>						
<b>Project Name</b>	<b>Amount Awarded</b>	<b>BCC Date</b>		<b>Need to be completed by:</b>	<b>Amount Paid</b>	<b>Completion Date</b>	
Real Macaw	\$ 5,286.00	1/9/2018		1/9/2019	\$ 5,286.00	11/26/2018	
Western Bike Shop	\$ 16,830.00	11/14/2017		12/8/2018	\$ 16,830.00	11/28/2018	
Harbor Dental-2018-1	\$ 50,000.00	6/12/2018		6/12/2019	\$ 50,000.00	12/18/2020	
Food Truck Parcel-2018-2	\$ 30,000.00	6/12/2018		6/12/2019	\$ 30,000.00	1/25/2019	
Dr March	\$ 30,000.00	6/12/2018		6/12/2019	\$ 30,000.00	2/5/2019	
<b>Total</b>	<b>\$ 132,116.00</b>				<b>\$ 132,116.00</b>		
<b>Available Funds FY 19</b>	<b>\$ 92,884.00</b>						
<b>Budget 2020</b>	<b>\$ 175,000.00</b>						
<b>Project Name</b>	<b>Amount Awarded</b>	<b>BCC Date</b>	<b>Status</b>	<b>Need to be completed by:</b>	<b>Amount Paid</b>	<b>Completion Date</b>	
Harbor Dental-2018-1	\$ 50,000.00	5/14/2019	Completed	6/12/2020	\$ 50,000.00	5/11/2020	
David Flick	\$ 5,384.47	12/10/2019	Completed	12/10/2020	\$ 5,384.47	1/27/2020	
Best Popcorn Company(Kurgis 1996)	\$ 6,854.50	1/14/2020	Approved	5/14/2021	Pending		
Things I Like by Catherine	\$ 50,000.00	7/14/2020	Approved	7/14/2021	Pending		
<b>Total</b>	<b>\$ 112,238.97</b>						
<b>Balance</b>	<b>\$ 62,761.03</b>						
<b>Budget 2021</b>	<b>\$ 100,000.00</b>						
Rollover from 2020	\$ 62,761.03						
<b>Total Available Funds</b>	<b>\$ 162,761.03</b>						
<b>Project Name</b>	<b>Amount Awarded</b>	<b>BCC Date</b>	<b>Status</b>	<b>Need to be completed by:</b>	<b>Amount Paid</b>	<b>Completion Date</b>	
MHK Architecture	\$ 50,000.00	TBD	Pending CRA Ad. Board Approval.				
<b>Balance</b>	<b>\$ 112,761.03</b>						

\* All projects are required to be completed in 1 year or an extension can be granted.

**Balance is based on FY20 Budget minus previous commitments**

**Item 6d**



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January 5, 2021  
Bayshore Gateway Triangle CRA  
Commercial Building Improvement Grant (CBIG)

**Applicant:**

Matthew Kragh, DBA MSK 2059, LLC.  
975 6<sup>th</sup> Ave. South, Ste 200  
Naples, FL 34102

**Project Location:**

MHK Architecture  
2059 Tamiami Trail East

**Project Scope:**

Convert an existing, vacant, two-story building that was previously a bar/lounge establishment into an office for MHK Architecture firm.

**Exterior Estimates:**

Landscaping and lighting - Estimate A= \$63,795.00  
Landscaping and lighting - Estimate B= \$82,961.50

**Interior Estimates:**

Interior Flooring - Estimate A= Pending updated quotes  
Interior Flooring - Estimate B= Pending updated quotes

**Totals:**

Total exterior work (lowest bidder) = \$66,795 (50% = \$33,397.50 or maximum of \$30,000)  
Total interior work = Pending updated quotes (50% with maximum of \$20,000)  
Total CRA contribution interior and exterior CBIG grant is estimated to equal \$50,000.00 or less.

**Attachments:**

1. CBIG Application
2. Exterior Estimates (Interior estimates to be provided at meeting)
3. Pictures of Existing Conditions



**C-BIG Application** (Detach and submit to CRA office.)

<b>Applicant Information</b>			
Grantee Name			
Grantee Address		Site Address	
Daytime Phone		Alternate Phone	
E-Mail Address			
Do you own or lease the property?		Occupational License No. (if applicable)	

**Project Information**

Describe the existing conditions of the site (attach additional sheets if necessary).

Outline the proposed improvements in detail (attach additional sheets if necessary).

**REQUIRED ATTACHMENTS FROM APPLICANT:**

- 1) One estimate each from **TWO** contractors for each project. These contractors **MUST** be licensed.
- 2) Business Owners: copy of occupational license.

**CRA STAFF:**

<ol style="list-style-type: none"> <li>1) Attach two color photos of each project to be performed.</li> <li>2) Attach Property Appraiser ID.</li> <li>3) Attach proof of payment of property taxes.</li> </ol>	Estimated cost of improvements:     \$ _____
	Maximum grant award:                     \$ _____
	Signature: _____ Date: _____



**Applicant Commitment of Resources**

I / we, Matthew Kragh DBA MSK 2059, LLC, owner(s) / tenant(s) of the commercial property located at 2059 Tamiami Trail East Naples, FL 34112, have the funding and all other capability necessary to begin the site improvements listed above and have the ability to complete all improvements within one year of the approval of the improvement grant by the Collier County Community Redevelopment Agency. I / we further affirm that payment for all work on approved improvements will come from accounts in my / our name(s) or the name(s) of entities registered in the State of Florida which I / we have incorporated or otherwise registered with the state (verification is required). Payment for improvements by from persons or entities not a party to this Grant Application is grounds for disqualification.

\_\_\_\_\_  
Signature of Tenant (if leased)

\_\_\_\_\_  
Date

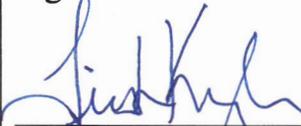
\_\_\_\_\_  
Signature of Tenant (if leased)  
(if jointly leased)

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Owner

November 12, 2020

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Owner  
(if jointly owned)

11.12.20

\_\_\_\_\_  
Date



**Grantee Project Summary & Evaluation** (attach additional sheets as necessary)

**Project Summary**

Describe the improvements made.

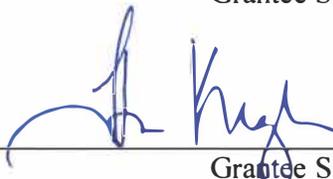
Treated and improved landscape with new trees, grass and plants.  
 Install new wood flooring.

List all vendors / contractors providing materials or services for this project with contact information.

Vendor / Service Provider	Phone Number or Address or Website
Blue Landscape/Landscape	239.566.2583 – 4175 Broken Back Rd Naples 34119
O'Donnell Landscapes/Landscape	239.992.8842 – 4291 Williams Rd Estero 33928
Legno Bastone/Flooring	239.206.1898 – 2684 Horseshoe Dr S Naples 34104
Wayne Wiles/Flooring	239.482.7600 – 16430 S Tamiami Trl Ft Myers 33908

  
 \_\_\_\_\_  
 Grantee Signature

11/12/20  
 \_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Grantee Signature

11.12.20  
 \_\_\_\_\_  
 Date

**CRA Staff: Color photos of completed project from site visit must be attached to this report.**

## Exterior Estimate A

### BLUE Landscape Contracting Group, LLC

4175 Broken Back Road  
Naples, FL 34119  
(239) 566-2583  
info@experienceblue.net  
www.experienceblue.net

## ESTIMATE



### ESTIMATE NUMBER

11304

### ESTIMATE DATE

11/30/2020

Connor & Gaskins Unlimited  
1998 Trade Center Way (Suite 2)  
Naples, FL 34109

### PROJECT DESCRIPTION

**QTY**      **RATE**      **AMOUNT**

"MHK Office Building - Landscape Installation - Bid per plans dated 5/01/2020 VE 7/28/2020 for irrigation modifications. 1 46,580.00 46,580.00

-----  
Landscape materials and labor:"

[18] Green Buttonwood - 10' ht x 4' spd x 1.75" Cal - \$250 per plant = \$4500  
[23] Silver Button wood - 10' ht x 4' spd x 1.75" Cal - \$290 per plant = \$6670  
[13] Southern Live Oak - 10' ht x 4' spd x 1.75" Cal - \$250 per plant = \$3250  
[18] Red Tip Cocoplum - 7 gallon 30" - \$32 per plant = \$576  
[5] Small Leaf Clusia - 10 Gal. 4-5' - \$40 per plant = \$200  
[25] Wax Jasmine - 3 gallon 20" - \$9 per plant = \$225  
[58] Liriope Emerald Goddess - 1 gallon - \$5 per plant = \$290 [190]  
Muhlenbergia capillaris - 3 gallon 20" - \$8 per plant = \$1520 [91] Xanadu  
Philodendron - 3 gallon 16" - \$12 per plant = \$1092 [72] Gold Capella  
Arboricola - 3 gallon 18" - \$8 per plant = \$576 [12] Orange Bromeliad - 7  
gallon 30" - \$40 per plant = \$480  
[3266] Perennial Peanut - 1 gallon 6" - \$4 per plant = \$13064  
[1490] Minima Jasmine - 1 gallon 8" - \$4 per plant = \$5960  
[1] Planting soil for Jasmine and Peanut planters per yard = \$1500  
[1.5] Crew and equipment for site prep - \$2000 per plant = \$3000  
[4,000 SQ FT] Coco mulch = \$3150  
Freight - \$525

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IRRIGATION INSTALLATION TOTAL: 1 17,215.00 17,215.00

Supply and install all materials to provide:

- 100% coverage of all plant material
  - Drip zones for shrub areas
  - Install mini-clip rain sensor
  - Includes sleeving
- Includes all labor, misc. couplers, wire, and piping required

#### NOTES:

Asphalt cutting and replacement of asphalt (for sleeving) not included in this proposal.  
Estimate includes re-using existing mainlines in rear parking lot where available.

Thank you for your business.

**ESTIMATE TOTAL: \$63,795.00**

Accepted By: Ben and Mark

Accepted Date: 11/30/20

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PAYMENT TERMS: Payment for services is due as noted above. After thirty (30) days past due, interest will accrue at 1.5% per month. BLUE will be entitled to all court costs, attorneys fees and costs, etc., if collection becomes necessary.

**Exterior Estimate B**

**O'DONNELL LANDSCAPES, INC.**

4291 Williams Road, Estero, FL 33928 239-992-8842 Fax# 239-992-2188

www.ODonnellLandscapes.com

**Preliminary Budget Estimate**

**PROJECT: MHK Office Building**

2059 Tamiami Trail

Attn: Tom Carrico

Connor & Gaskins Unlimited, LLC

Email: tom@cgunlimited.com

**DATE: 05/19/20**

Description	Specification	Qty	Unit P	S.Total
<b>As per ALD SDP Planting Plan Sheet 1.0 dated 4.30.20</b>				
Green Buttonwood	10' HT 4' Spr 1.75" Cal	18	300	\$ 5,400.00
Silver Buttonwood	10' HT 4' Spr 1.75" Cal	23	300	\$ 6,900.00
Southern Live Oak	10' HT 4' Spr 1.75" Cal	13	400	\$ 5,200.00
<b>Verify Christmas Palms to be removed - BUDGET \$200 each.</b>				
Red Tip Cocoplum	#7 30"	18	45	\$ 810.00
Small Leaf Clusia	#10 4'-5'	5	75	\$ 375.00
Wax Jasmine	#3 20"	25	12	\$ 300.00
Emerald Goddess Liriope	#1	58	6.5	\$ 377.00
Muhly Grass	#3 20"	190	12	\$ 2,280.00
Xanadu Philodendron	#3 16"	91	16	\$ 1,456.00
Gold Capella Arboricola	#3 18"	72	13	\$ 936.00
Orange Bromeliad	#7 30"	12	50	\$ 600.00
Perennial Peanut	#1 6"	3266	5	\$ 16,330.00
Asian Jasmine	#1 8"	1490	4.75	\$ 7,077.50
Potting Soil	Per CY	40	75	\$ 3,000.00
Misc. Soil	Lump Sum	1	1500	\$ 1,500.00
Eucalyptus or Coco Brown Mulch	Per SF	1	4000	\$ 4,000.00
<i>Root Barrier, if needed will be \$12.00/LF.</i>				
Misc. Detail Labor	Lump Sum	1	3500	\$ 3,500.00
Permits	Lump Sum	1	300	\$ 300.00
<b>As per ALD Schematic Irrigation Plan Sheet 1.4 dated 4.30.20</b>				
<b>Irrigation - Hunter Brand</b>	Lump Sum	1	18200	\$ 18,200.00
<i>No Backflow Preventer Included in Pricing</i>				
Sleeves 6" (2)	Per LF	340	7.5	\$ 2,550.00
Sleeves 4"	Per LF	170	5	\$ 850.00
Sleeves 2" (2)	Per LF	340	3	\$ 1,020.00
<b>Contractor to jack/bore or cut asphalt/parking.</b>				
<b>Notes:</b>				
Pots set & sealed by General Contractor. O'Donnell Landscapes assumes no responsibility for sealing pots and future warranty of seal.				
O'Donnell Landscapes must have machine access for installation. Additional money will be applied for wheelbarrow labor.				
O'Donnell Landscapes cannot be responsible for damage to any existing/unknown or private underground utilities, gas lines, cables, wires, lighting, etc.				
Any additional landscape and/or irrigation labor required over estimated amounts will be billed at a time and material rate of \$175.00/crew hour plus any necessary materials.				
Proposal is valid for 90 days from date listed.				
<b>Lump Sum Total</b>				<b>\$ 82,961.50</b>
<b>OPTIONAL HEDGE:</b>				
<b>Note:</b> ALD needs to confirm the size specification on a buffer for county requirements.				
Approximately 1050 LF of Old Ficus Hedge - Ficus hedge is in extreme decline and will need to be replaced. Adding trees and trenching irrigation will damage root system.				
<b>BUDGET</b> 350 new native shrubs at 3' OC - Buttonwood, Simpson Stopper, Cocoplum				
Native Shrub	#7	350	32	\$ 11,200.00
Removals of 1050 LF Ficus hedge, stump excavation and haul out				
<b>BUDGET Lump Sum</b>				<b>\$ 5,000.00</b>
New soil not included in pricing at this time.				
<b>Lump Sum Total (Hedge Option)</b>				<b>\$ 16,200.00</b>

# PARADISE

## Scope of Work

December 28, 2020

Paradise Advertising & Marketing, Inc. (Paradise) will work with the Bayshore Gateway Triangle Community Redevelopment Area (CRA) to gain an understanding of the area in order to define and develop a new brand positioning and identity package for marketing purposes. The Scope of Work will be executed in phases to determine the most appropriate and efficient path forward. Per discussions between Paradise and CRA, the outline of Phase 1 is provided below for review and approval by the CRA.

### Phase 1- Research

- Review of the Public Art Master Plan and any relevant research and pertinent background information.
- Familiarization tour of the CRA district.
  - Up to 3 people for 2 days (includes travel)
- Meet with staff to discuss branding efforts and review pending projects both private and public in the area.
- Review other integrated marketing communications efforts underway relating to the CRA.
- Community Survey
  - Paradise to develop questions and digital platform(s) to engage the public to seek insights in regards to the branding effort.
  - CRA to handle the survey distribution.
  - Paradise to secure and analyze survey submissions and will include findings in the final report.

### DELIVERABLES:

- Phase 1- Report based on research findings and suggested next steps, including the various options for approaching the branding of the CRA.
- Formal presentation of Phase 1- Present research findings at the Bayshore Gateway Triangle Local Redevelopment Advisory Board meeting.

### TIMING:

- Report based on Research & Survey, etc . January/February 2021
  
- Present Phase 1- Research findings to the Bayshore Gateway Triangle Local Redevelopment Advisory Board March 2021

**AGENCY ROLES:**

\$25,500.00

170 hours

- Chief Creative Office
- Creative Director
- Project Management
- Production Coordinator
- Senior Art Director
- Senior Copywriting
- Traffic Manager

**TRAVEL:**

\$700.00 for travel/meal costs incurred

County rate schedule included for eligible reimbursement

Reimbursements shall be at the following rates:

Mileage	\$0.44.5 per mile
Breakfast	\$6.00
Lunch	\$11.00
Dinner	\$19.00
Airfare	Actual ticket cost limited to tourist or coach class fare
Rental car	Actual rental cost limited to compact or standard-size vehicles
Lodging	Actual cost of lodging at single occupancy rate with a cap of no more than \$150.00 per night
Parking	Actual cost of parking
Taxi or Airport Limousine	Actual cost of either taxi or airport limousine

**GRAND TOTAL:                    \$26,200.00**

To be split into two equal payments of \$13,100.00 each due in February and March 2021.

## 7c - Public Art Plan Change Sheets

### Plan Oversight

The Collier County Board of County Commissioners (BCC) is the ex-officio governing board of the Collier County Community Redevelopment Agency (CRA). As such, the County Manager designates staff to implement the board direction. The CRA staff oversees the implementation of this plan, including contract management and funding allocations. The CRA staff is the designated staff liaison to the Bayshore Gateway Triangle Local Redevelopment Advisory Board. This Advisory Board, appointed by the CRA Board, provides recommendations on items related to projects, programs, funding and policies within the BGTCRA.

### Program Management

Effective management of the public art program is critical to the success of this plan. For plan implementation, it is recommended the CRA and the County consider the following program management options. 1) Create a staff position to manage the program. 2) Contract with a professional public art consultant/consultant firm. 3) Contract with an organization with significant public art administration experience. The Program Manager must have significant experience with and knowledge of public art, program management, county procedures, and creative placemaking. The role of the Program Manager is to oversee the Public Art Plan and its implementation for the CRA. The Program Manager will:

- Oversee a Public Art Committee (PAC) to advise the CRA and BCC on all matters relating to the public art program. (The Committee's role is advisory only with no independent authority – a structure typical for most public art programs within municipalities.)
- Develop annual work plans based on the implementation grid provided in this plan.
- Evaluate and manage all public art projects in the BGTCRA, including public art project funding.
- Serve as a resource for business owners and developers to integrate art into their projects.
- Organize all calls for artists (Request for Qualifications [RFQ] and Request for Proposals [RFP]), manage artist selection process and panels, and artist award payments based on best practices.
- Be a lead and spokesperson (agency) for public art education, community engagement, and overall awareness of the program.
- Work with County government and community organizations to facilitate public art projects and community engagement with public art.
- Provide monthly updates to the Advisory Board.
- Conduct annual maintenance reviews of existing art collection and periodic curatorial reviews of art collection.
- Develop conflict of interest policy for review and approval and oversee enforcement.
- Develop an artist guidelines handbook outlining compensation rules, conflict of interest, artist rights based on best practices and non-discriminatory policy.
- Implement and manage the mural program.
- Develop and maintain a current artist distribution registry (artist e-list)
- Create a process for pre-qualified pool of artists for artist selection panels.

## Public Art Committee Role

The Public Art Committee (PAC) will provide recommendations to the BCC on public art projects in the BGT CRA. Working with the Program Manager and CRA staff, the committee functions are to:

- Assist and advise the County regarding the implementation of public art projects.
- Review proposals submitted for public art projects and make recommendations to the BCC regarding project approvals.
- When appropriate, appoint an artist selection panel to recommend artists for each project. This panel, consisting of representatives from the community (see map on page 5) where the art project is to be installed, makes the recommendation to the PAC.
- Ensure, over time, the public art projects commissioned in the BGT CRA represent a variety of art forms and media, the cultural diversity of the County, and are located throughout the area.
- Review and, if necessary, update public art policies and guidelines periodically.
- Perform other such duties as required to adhere to the public art program policies and guidelines or as designated by the BCC.

## Plan Goals

### Operational Goals

#### **Goal 1: Establish a management structure for the public art program.**

Appoint a Program Manager to oversee the public art program. The Program Manager will oversee the overall management and administration of the public art program.

**1.1** Define roles, public art plan goals, policies, guidelines, and funding with Program Manager. The BGT CRA will provide start-up funding for program management and initial priority public art projects; the initial funding will be phased out as additional funding sources are available. Annual budget and work plans will be reviewed and recommended by the Advisory Board and approved by the CRA during the annual budget process.

**1.2** In coordination with the Program Manager, establish a PAC to advise on the public art projects in the BGT CRA. The Committee is to be comprised of arts professionals and design sector professionals with advanced knowledge of public art, with at least one committee member meeting one of the following criteria: be a resident, nonprofit leader, business owner, or have a business interest within the BGT CRA.

#### **Goal 2: Fund the public art program through a variety of options including fundraising, developer contributions, and percentage for art contributions on projects within the BGT CRA.**

A combination of government and private funds will provide the overall budget for the public art program. Community Redevelopment Agency funds for public art will be generated as part of CRA-funded capital projects: this is supported by the County Arts and Culture Strategic Plan (Goal 5) to provide the necessary public and private resources for arts and culture. Private funds will be generated through developer contributions as outlined in applicable guidelines, ordinances, or policies. National and state grant funds for special projects may be applied to augment the budget of existing projects.

**2.1** For public art funding, a Percent for Art Ordinance is currently under review to determine legal feasibility. The requirement will provide criteria of CRA capital improvement projects to be allocated for public art. The public art requirement would apply generally to capital improvement projects of the CRA, including buildings and renovations, parking facilities, and parks. Exclusions include infrastructure improvements (i.e., utilities, right-of-way, roadway construction) and other select capital projects.

**2.2** For private development funding, Percent for Art requirements, or in lieu of fee requirements, in private development and redevelopment will follow any additional regulatory guidelines, or applicable ordinances, guidelines, or policies that apply to the public art program.

**2.3** Any CRA land transferred or sold to the private sector will incorporate a 2% of the sale price to the public art fund and the developer will follow any additional regulatory guidelines, or applicable ordinances, guidelines, or policies that apply to the public art program.

## Plan Implementation

The plan's timeframe is 5-7 years. It is important to act and demonstrate visible progress in the short term, in addition to starting work on long-term initiatives that may require years of effort. In the coming months after adoption, County staff and the CRA Board will prepare an implementation plan for the first year, including the creation of the Public Art Committee and finalizing Program Management.

During implementation, conditions will undoubtedly change, so the recommendations of this plan should be reviewed and adjusted as necessary to best fulfill the community vision. An annual review of the plan and its accomplishments is recommended.

It is anticipated the first six months of implementation will accomplish:

1. Selection and engagement of the Public Art Program Manager
2. Initiate the Mural Ordinance revisions
3. Initiate resolution to create the Public Art Committee (PAC)
4. Develop PAC membership criteria and select and appoint members
5. Conduct orientation and onboarding with PAC members
6. Establish Public Art Fund
7. Develop and release Call to Artist for the mural art installation at the CRA Parking Lot
8. Select artist for mural art installation at the CRA parking lot
9. Identify site within BGTCRA for second mural art installation
10. Begin development of marketing campaign

**Attachment A**

**Revisions to Sec. 110-30. – Enclosure of Swales**

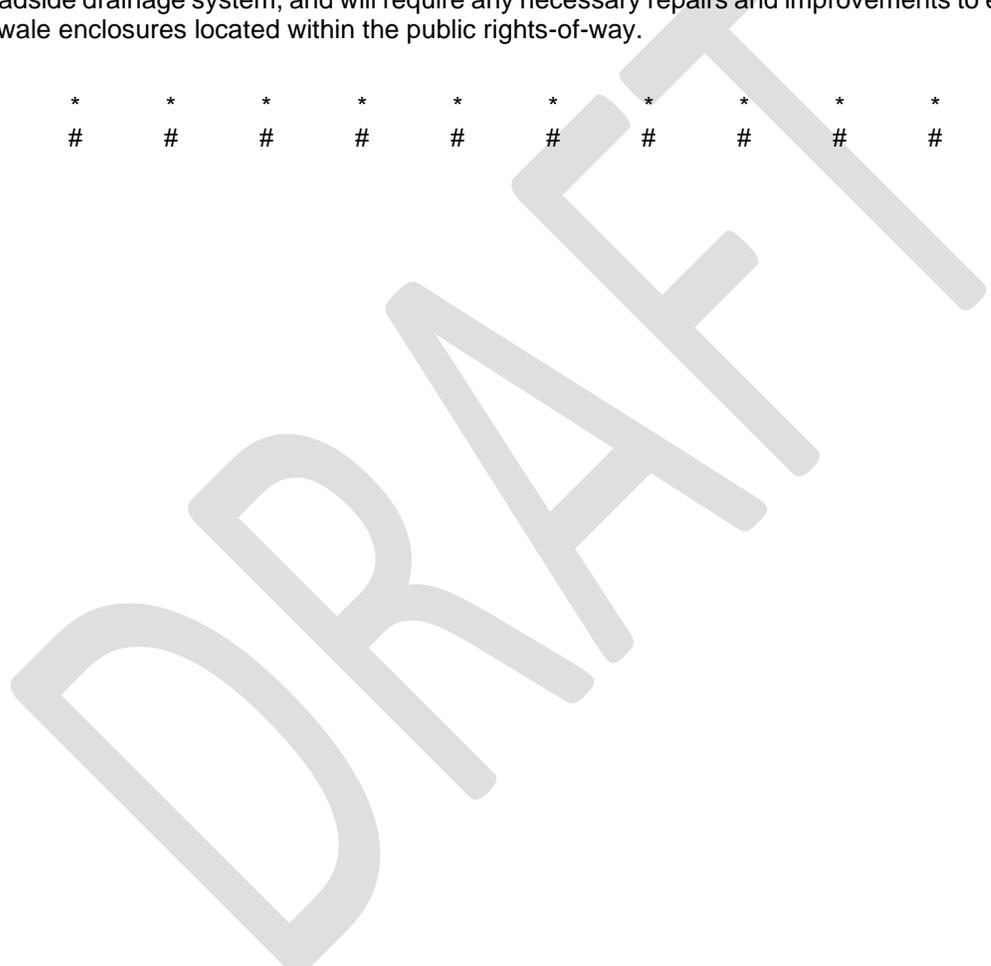
*Scrivener’s note: CRA = Community Redevelopment Agency  
BGT CRA = Bayshore Gateway Triangle Community Redevelopment Area*

**Code of Ordinances: Chapter 110 – Roads and Bridges**

**Sec. 110-30. - Enclosure of swales.**

Except as specifically set forth in the Bayshore Gateway Triangle Community Redevelopment Area in LDC Sec. 4.02.16.F(3) and in the "Collier County Swale/Culvert Ordinance Naples Park," set forth below in Section 110-41 et seq., the enclosure of swales within the public rights-of-way is hereby prohibited. The transportation administrator or his designee is authorized to review and approve deviations from this policy when documented by substantial competent evidence in accordance with the guidelines set forth in the handbook. In addition, the transportation administrator or his designee will continually inspect existing culverts and swale enclosures within the public rights-of-way to ascertain their condition and their effect on the roadside drainage system, and will require any necessary repairs and improvements to existing culverts and swale enclosures located within the public rights-of-way.

\* \* \* \* \*  
# # # # #



## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener's note: CRA = Community Redevelopment Agency*

*BGTCRA = Bayshore Gateway Triangle Community Redevelopment Area*

## 2.03.07 – Overlay Zoning Districts

- \* \* \* \* \*
- I. **Bayshore ~~Mixed Use~~ Overlay Zoning District (BMUDBOZD)**. This section provides special conditions for the properties adjacent to Bayshore Drive as identified by the designation "BMUDBOZD" on the applicable official Collier County Zoning Atlas Map or map series.
1. Purpose and Intent. The purpose and intent of this District is to encourage revitalization of the Bayshore Drive portion of the Bayshore Gateway Triangle Community Redevelopment Area (BGTCRA) with pedestrian-oriented, interconnected projects. The Overlay encourages uses that support pedestrian activity, including a mix of residential, civic and commercial uses that complement each other and provide for an increased presence and integration of the cultural arts and related support uses. When possible buildings, both commercial and residential, are located near the street, and may have front porches and/or balconies.
  2. Applicability.
    - a. These regulations shall apply to the Bayshore ~~Mixed Use~~ Overlay Zoning District as identified by the designation "BMUDBOZD" on the applicable official Collier County Zoning Atlas Maps.
    - b. Planned Unit Developments (PUDs) that existed prior to March 3, 2006, and properties with Provisional Uses (PU) approved prior to March 3, 2006, including amendments or boundary changes to these PUDs and Provisional Use properties, are not subject to the ~~Bayshore Overlay District~~ BOZD requirements.
  3. Relationship to the Underlying Zoning Classification and Collier County Growth Management Plan.
    - a. The purpose of the BMUDBOZD is to fulfill the goals, objectives and policies of the Collier County Growth Management Plan (GMP), as may be amended. Specifically, the BMUDBOZD implements the provisions of section V.F, Bayshore Gateway Triangle Redevelopment Overlay, of the Future Land Use Element. Portions of the ~~Bayshore Overlay District~~ BOZD coincide with *Mixed Use Activity Center #16* designated in the Future Land Use Element (FLUE) of the Collier County GMP. Development in the activity center is governed by requirements of the underlying zoning district and the mixed use activity center subdistrict requirements in the FLUE, except for site development standards as stated in section 4.02.16 of the LDC.
    - b. Property owners within the BMUDBOZD may establish uses, densities and intensities in accordance with the LDC regulations of the underlying zoning classification except as restricted in Sec. 2.03.07.1.4.b.iv. below, or may elect to develop/redevelop under the provisions of the applicable BMUDBOZD Subdistrict. In either instance, the BMUDBOZD site development standards as provided for in section 4.02.16 shall apply.
  4. Bayshore ~~Mixed Use~~ Overlay Zoning District (BMUDBOZD) Subdistricts.
    - a. The BMUDBOZD consists of the following subdistricts:
      - i. Neighborhood Commercial Subdistrict (BMUDBOZD-NC). The purpose and intent of this subdistrict is to encourage a mix of low intensity commercial and residential uses, including mixed use projects in a single building. This subdistrict provides for an increased presence and integration of the cultural arts and related support uses, including galleries, artists' studios, and live-work units. Developments will be human-scale and pedestrian-oriented.
      - ii. Waterfront Subdistrict (BMUDBOZD-W). The purpose of this subdistrict is to encourage a mix of low intensity commercial and residential uses and allow maximum use of the

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener's note: CRA = Community Redevelopment Agency*

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waterfront for entertainment while enhancing the area for use by the general public. Development in this subdistrict is intended to allow a mix of residential and commercial uses including limited marina and boatyard uses.

- iii. Residential Subdistrict 1 (~~BMUDBOZD~~-R1). The purpose of this subdistrict is to encourage the development of a variety of housing types which are compatible with existing neighborhoods and allow for building additions such as front porches. The intent in new development is to encourage a traditional neighborhood design pattern and create a row of residential units with uniform front yard setbacks and access to the street.
  - iv. Residential Subdistrict 2 (~~BMUDBOZD~~-R2). The purpose of this subdistrict is to allow for a variety of housing types and encourage the development of multi-family residences as transitional uses between commercial and single-family development. The multi-family buildings shall be compatible with the building patterns of traditional neighborhood design.
  - v. Residential Subdistrict 3 (~~BMUDBOZD~~-R3). The purpose of this subdistrict is to allow for a variety of housing types and encourage the development of townhouses and single-family dwellings. All new development in this subdistrict shall be compatible with the building patterns of traditional neighborhood design.
  - vi. Residential Subdistrict 4 (~~BMUDBOZD~~-R4). The purpose of this subdistrict is to protect the character of existing neighborhoods comprised of detached single-family dwelling units, while allowing for building additions such as front porches.
- b. Use Categories and Table of Uses.
- i. All uses permitted in the ~~BMUDBOZD~~ subdistricts have been divided into nine ~~eight~~ general categories, which are summarized below:
    - a) Residential: Premises available for long-term human habitation by means of ownership and rental, but excluding short-term leasing or rental of less than one month's duration.
    - b) Lodging: Premises available for short-term human habitation, including daily and weekly rental.
    - c) Office and Service: Premises available for the transaction of general business and the provision of services, but excluding retail sales and manufacturing, except as a minority component.
    - d) Retail and Restaurant: Premises available for the commercial sale of merchandise, prepared foods, and food and drink consumption, but excluding manufacturing.
    - e) Entertainment and Recreation: Premises for the gathering of people for purposes such as arts and culture, amusement, and recreation.
    - f) Manufacturing, Wholesale and Storage: Premises available for the creation, assemblage, indoor storage, and repair of items including their wholesale or retail sale.
    - g) Civic and Institutional: Premises available for organizations dedicated to religion, education, government, social service, and other similar functions.
    - h) Infrastructure: Uses and structures dedicated to transportation, communication, information, and utilities, including Essential Services.
  - ii. Interpretation of the Table of Uses.

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener's note: CRA = Community Redevelopment Agency*

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- a) The Table of Uses identifies uses as permitted uses (P); accessory uses (A); conditional uses (CU), or a combination of the three. Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.
- b) Any use not listed in the Table of Uses is prohibited unless the County Manager or designee may determine that it falls within the same class as a listed use through the process outlined in LDC section 1.06.00, Rules of Interpretation.
- c) Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the ~~BMUDBOZD-NC~~ and ~~BMUDBOZD-W~~ subdistricts, and subject to the MUP approval process as outlined in Section 10.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning except as restricted in Sec. 2.03.07.1.4.b.iv. below, or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in section 4.02.16.

iii. Table of Uses.

**Table 1. Table of Uses for the Bayshore Mixed Use Overlay Zoning District Subdistricts**

USE TYPE	BMUDBOZD SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED USE		
	R1	R2	R3	R4	NC	W	
<i>a) RESIDENTIAL</i>							
1) Dwelling, Single-Family	P	P	P	P	P		
2) Dwelling, Duplex	P	P	P				
3) Dwelling, Two-Family	P	P	P		P	P	
4) Dwelling, Rowhouse	P	P	P		P	P	
5) Dwelling, Multi-Family (3 or more)	P	P	P		P	P	
6) Dwelling, Mobile Home			P*				*If allowed by underlying zoning
7) Home Occupations	A	A	A	A	A	A	5.02.03
8) Live-Work Units			CU		P	P	4.02.16 C.6.
9) Artist Village	CU	CU	CU		P	P	4.02.16 C.3.
<i>b) LODGING</i>							
1) Bed & Breakfast Facilities			CU		CU	CU	4.02.16 C.4.
2) Hotels and Motels					P	P	
<i>c) OFFICE/SERVICE</i>							
1) Banks, Credit Unions, Financial Services					P		
2) Business Support Services					P	P	
3) Child Care Services	CU	CU	CU		CU	CU	

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

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USE TYPE	BMUDBOZD SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED USE		
	R1	R2	R3	R4	NC	W	
4) Community Service Organization					P	P	
5) Drive Thru Service (banks)							
6) Government Services					P	P	
7) Family Care Facility/Nursing Home					P	P	
8) Medical Services - Doctor Office					P	P	
9) Medical Services - Outpatient/Urgent Care					P		
10) Personal Care Services					P	P	
11) Post Office					P	P	
12) Professional Office or Service					P	P	
13) Rental Services - Equipment/Vehicles					P	P	
14) Studio - Art, Dance, Martial Arts, Music					P	P	
15) Studio - Motion Picture					CU		
16) Vehicle Services - Maintenance/Repair							
17) Veterinarians Office					P	P	
18) Video Rental					P	P	
<i>d) RETAIL/ RESTAURANTS</i>							
1) Auto Parts Sales							
2) Bars/Tavern/Night Club					P	P	
3) Drive Thru Retail/ Restaurant							
4) Gas Station with Convenience Store					P	P	5.05.05
5) Neighborhood Retail - <2,000 sf					P	P	
6) General Retail - <15,000 sf					P	P	
7) General Retail - >15,000 sf					CU	CU	
8) Restaurant					P	P	
9) Shopping Center					CU	CU	
10) Vehicle/ <del>Boat</del> /Heavy Equipment Sales						CU	4.02.16 C.7.
11) <u>Boat Sales</u>						CU	4.02.16 C.7.
<i>e) ENTERTAINMENT/RECREATION</i>							

**Attachment A**

Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

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USE TYPE	BMUDBOZD SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED USE		
	R1	R2	R3	R4	NC	W	
1) Gallery / Museum					P	P	
2) Meeting Facility					P	P	
3) Cultural or Community Facility					P	P	
4) Theater, Live Performance					P	P	
5) Theater, Movie					CU	CU	
6) Recreation Facility, Indoor					P	P	
7) Recreation Facility, Outdoor					CU	CU	
8) Amusements, Indoor					P	P	
9) Amusements, Outdoor					CU	CU	
10) Community Garden	P	P	P	P	P	P	4.02.16 C.5.
<i>f) MANUFACTURING/WHOLESALE/STORAGE</i>							
1) Laboratory - Medical, analytical, research					P		
2) Laundries and Dry Cleaning					P		
3) Media Production					P		
4) Metal Products Fabrication					P		
5) Mini-Warehouses							
6) Repair Shops					P	P	
7) Research and Development					P	P	
8) Storage - Outdoor					A		4.02.16 C.910.
9) Storage - Warehouse							
<i>g) CIVIC INSTITUTIONAL</i>							
1) College/University					P	P	
2) Educational Plant	P	P	P	P	P	P	
3) Hospital							
4) Membership Organizations					P	P	
5) Public Safety Facility					CU	CU	
6) Religious Institution	CU	CU	CU	CU	CU	CU	
7) Schools - Elementary and Secondary							
8) Schools - Vocational and Technical							
<i>h) INFRASTRUCTURE</i>							

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

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USE TYPE	BMUDBOZD SUBDISTRICTS						ADDITIONAL STANDARDS
	RESIDENTIAL				MIXED USE		
	R1	R2	R3	R4	NC	W	
1) Automobile Parking Facilities					CU		
2) Boat Launch						A	
3) Essential Services	P	P	P	P	P	P	
4) Marinas and Boatyards					P	P	4.02.16 C.7.
5) Transit Station							
6) Wireless Telecommunication Facility							

**Note:** The Table of Uses identifies uses as permitted uses (P); accessory uses (A); conditional uses (CU), or a combination of the three.

Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.

Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the BMUD-NC and BMUD-W subdistricts, and subject to the MUP approval process as outlined in section 4.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in section 4.02.16.

iv. Restriction on establishing of or changing to certain uses. The establishment of a new permitted use, or a change in use from one permitted use to another permitted use, is allowed per underlying commercial zoning districts, with exception of the prohibited uses listed below. For such use existing as of [effective date of Ordinance], the use may continue to operate as identified within LDC section 9.03.00-Nonconformities.

a) Prohibited uses in C-2, C-3, C-4 and C-5 zoning districts. For purposes of this section, outdoor display, outdoor sales, and outdoor storage of vehicles, construction material, and equipment on property with lot size less than 40,000 square feet is prohibited within the BOZD and within underlying zoning districts of C-2, C-3, C-4 or C-5.

b) Prohibited uses in the C-4 zoning district. For purposes of this section, the following use is also prohibited within the BOZD and within underlying zoning district of C-4:

1.) Repair shops and services, not elsewhere classified (7699) – Boiler repair shops, Sewer cleaning and rodding, Tank and boiler cleaning service, and Tank truck cleaning service.

c) Prohibited uses in the C-5 zoning district. For purposes of this section the following list of uses shall be prohibited within the BOZD and within underlying zoning district of C-5:

1.) Equipment rental and leasing (7359) – Industrial truck and portable toilet.

2.) Mobile home dealers (5271).

3.) Motor freight transportation and warehousing (4225) - Mini- and self-storage warehousing.

**Attachment A**

Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

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- 4.) Recreational vehicle dealers (5561).
- 5.) Repair shops and services, not elsewhere classified (7699) – Boiler cleaning, Boiler repair shops, Cesspool cleaning, Industrial truck repair, Septic tank cleaning service, Sewer cleaning and rodding, Tank and boiler cleaning service, and Tank truck cleaning service.
- 6.) Truck rental and leasing, without drivers (7513).
- 7.) Utility trailer and recreational vehicle rental (7519).

J. Goodland Zoning Overlay (GZO).

\* \* \* \* \*

K. Activity Center #9 Overlay.

\* \* \* \* \*

L. Vanderbilt Beach Residential Tourist Overlay Zoning District (VBRTO).

\* \* \* \* \*

M. Restricted Parking (RP) Overlay District.

\* \* \* \* \*

N. Gateway Triangle ~~Mixed Use~~ Overlay Zoning District (~~GTMUDGTOZD~~). This section contains special conditions for the properties in and adjacent to the Gateway Triangle as identified by the designation "~~GTMUDGTOZD~~" on the applicable official Collier County Zoning Atlas Map or map series.

1. Purpose and Intent. The purpose and intent of this District is to encourage revitalization of the Gateway Triangle portion of the Bayshore Gateway Triangle Community Redevelopment Area (BGTCRA) with human-scale, pedestrian-oriented, interconnected projects that are urban in nature and include a mix of residential types and commercial uses. Development in this District should encourage pedestrian activity through the construction of mixed-use buildings, an interconnected street system, and connections to adjacent neighborhoods. When possible, buildings are located near the street with on street parking and off street parking on the side or in the rear of the parcel.

This District is intended to: revitalize the commercial and residential development; promote traditional urban design; encourage on street parking and shared parking facilities; provide appropriate landscaping and buffering; and protect and enhance the Shadowlawn residential neighborhood.

2. Applicability.

a. These regulations shall apply to the Gateway Triangle ~~Mixed Use~~ Overlay Zoning District as identified by the designation "~~GTMUDGTOZD~~" on the applicable official Collier County Zoning Atlas Maps.

b. Planned Unit Developments (PUDs) that existed prior to March 3, 2006, and properties with Provisional Uses (PU) approved prior to March 3, 2006, including amendments or boundary changes to these PUDs and Provisional Use properties, are not subject to the ~~Gateway Triangle Mixed Use District~~ GTOZD requirements.

3. Relationship to the Underlying Zoning Classification and Collier County Growth Management Plan.

a. The purpose of the ~~GTMUDGTOZD~~ is to fulfill the goals, objectives and policies of the Collier County Growth Management Plan (GMP), as may be amended. Specifically, the ~~GTMUDGTOZD~~ implements the provisions of section V.F, Bayshore Gateway Triangle Redevelopment Overlay, of the Future Land Use Element. Portions of the ~~Gateway Triangle~~

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

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~~Mixed Use District~~ GTOZD that coincide with Mixed Use Activity Center #16 as designated in the FLUE of the Collier County GMP. Development standards in the activity center is governed by requirements of the underlying zoning district requirements and the mixed use activity center subdistrict requirements in the FLUE, except for site development standards as stated in section 4.02.16 of the Collier County Land Development Code (LDC).

- b. Property owners may establish uses, densities and intensities in accordance with the existing LDC regulations of the underlying zoning classification except as restricted in Sec. 2.03.07.N.4.b.iv. below, or may elect to develop/redevelop under the provisions of the applicable GTMUDGTOZD Subdistrict. In either instance, the GTMUDGTOZD site development standards as provided for in section 4.02.16 shall apply.
4. Gateway Triangle ~~Mixed Use~~ Overlay Zoning District (GTMUDGTOZD) Subdistricts.
- a. The Gateway Triangle ~~Mixed Use~~ Overlay Zoning District consists of the following subdistricts:
    - i. Mixed Use Subdistrict (GTMUDGTOZD-MXD). The purpose and intent of this subdistrict is to provide for pedestrian-oriented commercial and mixed use developments and higher density residential uses. Developments will reflect traditional neighborhood design building patterns. Individual buildings are encouraged to be multi-story with uses mixed vertically, with street level commercial and upper level office and residential. Included in this District is the "mini triangle" formed by US 41 on the South, Davis Boulevard on the North and Commercial Drive on the East, which is intended to serve as an entry statement for the Bayshore Gateway Triangle CRA and a gateway to the City of Naples.
    - ii. Residential Subdistrict (GTMUDGTOZD-R). The purpose of this subdistrict is to encourage the continuation and revitalization of the Shadowlawn neighborhood. The subdistrict provides for a variety of compatible residential housing types and a limited mix of non-residential uses in a walkable context.
  - b. Use Categories and Table of Uses.
    - i. All uses permitted in the GTMUDGTOZD subdistricts have been divided into ~~nine~~ eight general categories, which are summarized below:
      - a) Residential: Premises available for long-term human habitation by means of ownership and rental, but excluding short-term leasing or rental of less than one month's duration.
      - b) Lodging: Premises available for short-term human habitation, including daily and weekly rental.
      - c) Office and Service: Premises available for the transaction of general business and the provision of services, but excluding retail sales and manufacturing, except as a minority component.
      - d) Retail and Restaurant: Premises available for the commercial sale of merchandise, prepared foods, and food and drink consumption, but excluding manufacturing.
      - e) Entertainment and Recreation: Premises for the gathering of people for purposes such as arts and culture, amusement, and recreation.
      - f) Manufacturing, Wholesale and Storage: Premises available for the creation, assemblage, indoor storage, and repair of items including their wholesale or retail sale.
      - g) Civic and Institutional: Premises available for organizations dedicated to religion, education, government, social service, and other similar functions.

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener’s note: CRA = Community Redevelopment Agency*

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- h) Infrastructure: Uses and structures dedicated to transportation, communication, information, and utilities, including Essential Services.
- ii. Interpretation of the Table of Uses
  - a) Any uses not listed in the Table of Uses are prohibited. In the event that a particular use is not listed in the Table of Uses, the County Manager or designee may determine that it falls within the same class as a listed use through the process outlined in LDC section 1.06.00, Rules of Interpretation.
  - b) The Table of Uses identifies uses as permitted uses (P); accessory uses (A); conditional uses (CU), or a combination of the three. Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.
  - c) Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the ~~GTMUDGTOZD~~-MXD subdistrict, and subject to the MUP approval process as outlined in section 10.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning or in accordance with the Overlay Subdistrict. However, all projects must comply with site development standards as provided in section 4.02.16.
- iii. Table of Uses.

**Table 2. Table of Uses for the Gateway Triangle Mixed-Use Overlay Zoning District Subdistricts**

USE TYPE	GTMUDGTOZD SUBDISTRICTS		ADDITIONAL STANDARDS
	R	MXD	
<i>a) RESIDENTIAL</i>			
1) Dwelling, Single-Family	P	P	
2) Dwelling, Duplex	P	P	
3) Dwelling, Two-Family	P	P	
4) Dwelling, Rowhouse	P	P	
5) Dwelling, Multi-Family (3 or more)	P	P	
6) Dwelling, Mobile Home	P*		*If permitted by underlying zoning
7) Guesthouse	A	A	5.05.04 and 4.02.16 C.2.
8) Home Occupations	A	A	5.02.03
9) Live-Work Units	CU	P	4.02.16 C.6.
10) Artist Village	CU	P	4.02.16 C.3.
<i>b) LODGING</i>			
1) Bed & Breakfast Facilities	CU	CU	4.02.16 C.4.
2) Hotels and Motels		P	

## Attachment A

### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener's note: CRA = Community Redevelopment Agency*

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<i>c) OFFICE/SERVICE</i>			
1) Banks, Credit Unions, Financial Services		P	
2) Business Support Services		P	
3) Child Care Services	CU	CU	
4) Community Service Organization		P	
5) Government Services		P	
6) Family Care Facility/Nursing Home		CU	
7) Medical Services - Doctor Office		P	
8) Medical Services - Outpatient/Urgent Care		P	
9) Personal Care Services		P	
10) Post Office		P	
11) Professional Office or Service		P	
12) Rental Services - Equipment/Vehicles		P	
13) Studio - Art, Dance, Martial Arts, Music		P	
14) Studio - Motion Picture		CU	
15) Vehicle Services - Maintenance/Repair		CU	
16) Veterinarians Office		P	
17) Video Rental		P	
<i>d) RETAIL/ RESTAURANTS</i>			
1) Auto Parts Sales		P	
2) Bars/Tavern/Night Club		P	
3) Drive Thru Retail/Restaurant		P	
4) Gas Station with Convenience Store		P	5.05.05
5) Neighborhood Retail - <2,000 sf		P	
6) General Retail - <15,000 sf		P	
7) General Retail - >15,000 sf		P	
8) Restaurant		P	
9) Shopping Center		CU	
10) Vehicle/Boat/Heavy Equipment Sales		P	
<i>e) ENTERTAINMENT/RECREATION</i>			
1) Gallery / Museum		P	
2) Meeting Facility	CU	P	
3) Cultural or Community Facility	CU	P	

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### Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener's note: CRA = Community Redevelopment Agency*

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4) Theater, Live Performance		P	
5) Theater, Movie		CU	
6) Recreation Facility, Indoor		P	
7) Recreation Facility, Outdoor	CU	CU	
8) Amusements, Indoor		P	
9) Amusements, Outdoor	CU	CU	
10) Community Garden	P	P	4.02.16 C.5.
<b>f) MANUFACTURING/WHOLESALE/STORAGE</b>			
1) Boat Yards		CU	<u>4.02.16 C.7.</u>
2) Laboratory - Medical, analytical, research		P	
3) Laundries and Dry-cleaning		P	
4) Media Production		P	
5) Metal Products Fabrication		CU	
6) Mini-Warehouses			
7) Repair Shops		P	
8) Research and Development		P	
9) Storage - Outdoor		CU	4.02.16 C.-910.
10) Storage - Warehouse		P	
11) Lawn and Garden Services in conjunction with a Nursery		CU	
<b>g) CIVIC/INSTITUTIONAL</b>			
1) College/University		CU	
2) Educational Plant	P	P	
3) Hospital		CU	
4) Membership Organizations		P	
5) Public Safety Facility		CU	
6) Religious Institution	CU	CU	
7) Schools - Elementary and Secondary	P		
8) Schools - Vocational and Technical	CU		
<b>h) INFRASTRUCTURE</b>			
1) Automobile Parking Facilities		P	
2) Boat Launch			
3) Essential Services	P	P	
4) Marinas		P	

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Revisions to LDC Section 2.03.07. – Overlay Zoning Districts

*Scrivener’s note: CRA = Community Redevelopment Agency*

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5) Transit Station		CU	
6) Wireless Telecommunication Facility		CU	

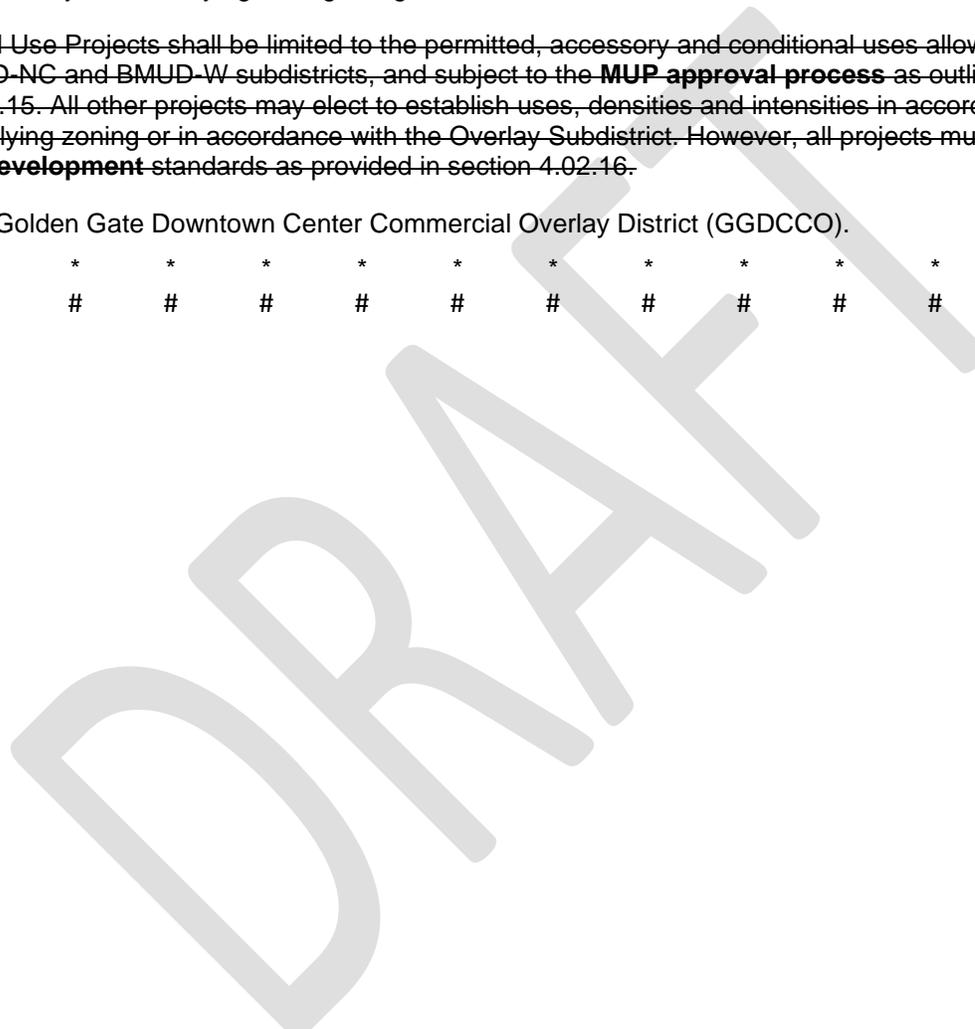
Note: The Table of Uses identifies uses as permitted uses (P); **accessory uses (A)**; conditional uses (CU), or a combination of the three.

Blank cells indicate that a use is not allowed in the corresponding subdistrict; however, such use may be permitted by the underlying zoning designation.

Mixed Use Projects shall be limited to the permitted, accessory and conditional uses allowed in the BMUD-NC and BMUD-W subdistricts, and subject to the **MUP approval process** as outlined in section 4.02.15. All other projects may elect to establish uses, densities and intensities in accordance with their underlying zoning or in accordance with the Overlay Subdistrict. However, all projects must comply with site **development** standards as provided in section 4.02.16.

O. Golden Gate Downtown Center Commercial Overlay District (GGDCCO).

\* \* \* \* \*  
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**Attachment A**

Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway  
Triangle Community Redevelopment Area

*Scrivener’s note: CRA = Community Redevelopment Agency  
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**4.02.16 - Design Standards for Development in the Bayshore Gateway Triangle  
Community Redevelopment Area**

- A. Dimensional and Design Standards for the BMUDBOZD.
  - 1. Neighborhood Commercial Subdistrict (BMUDBOZD-NC).
    - a. Specific District Provisions:
      - i. Maximum Density: 12 units per acre comprised of density allowed by the underlying zoning district and available density bonuses.
      - ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 1. Dimensional Requirements in the BMUDBOZD-NC**

	House <sup>1</sup>	Rowhouse <sup>2</sup>	Apartment	Mixed-Use	Commercial	Civic & Institutional
Min. Lot Width (ft)	50	25 <sup>3</sup>	100	100	100 <sup>5</sup>	100
Min. Front Yard (ft)	10	10	10	5	5	10
Max. Front Yard (ft)	20	15	20	20	20	20
Min. Side Yard (ft)	5	5	5	5	5	10
Min. Rear Yard (ft)	15	15	20	20	20	20
Waterfront Yard (ft)	25	25	25	25	25	25
Min. Floor Area (sq ft)	700	700	700 per unit <sup>6</sup>	700 per unit <sup>6</sup>	700 per unit <sup>6</sup>	n/a
Min. Building Separation	n/a	n/a	10	10	10	10
Max. Building Height (ft) <sup>4</sup>	42	42	42	56	56	42

**Notes:**

- <sup>1</sup> See 4.02.16.A.7 regarding Duplexes.
- <sup>2</sup> See 4.02.16.A.7 regarding Two-Family Dwellings.
- <sup>3</sup> Applies to individual unit.
- <sup>4</sup> Zoned Height of Building.
- <sup>5</sup> Property zoned C-3 shall have a minimum lot width of 75 feet.
- <sup>6</sup> Not applicable to guest rooms in hotels.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

*Scrivener’s note: CRA = Community Redevelopment Agency  
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2. Waterfront Subdistrict (~~BMUD~~ BOZD-W).
  - a. Specific District Provisions:
    - i. Maximum Density: 12 units per acre comprised of density allowed by the underlying zoning district and available density bonuses.
    - ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 2. Dimensional Requirements in the ~~BMUD~~ BOZD-W**

	House <sup>1</sup>	Rowhouse <sup>2</sup>	Apartment	Mixed-Use	Commercial	Civic & Institutional
Min. Lot Width (ft)	50	25 <sup>3</sup>	100	100	100 <sup>5</sup>	100
Min. Front Yard (ft)	10	10	10	5	5	10
Max. Front Yard (ft)	20	15	20	20	20	20
Min. Side Yard (ft)	5	5	5	5	5	10
Min. Rear Yard (ft)	15	15	20	20	20	20
Waterfront Yard (ft)	25	25	25	25	25	25
Min. Floor Area (sq ft)	700	700	700 per unit <sup>6</sup>	700 per unit <sup>6</sup>	700 per unit <sup>6</sup>	n/a
Min. Building Separation	n/a	n/a	10	10	10	10
Max. Building Height (ft) <sup>4</sup>	42	42	42	56	56	42

**Notes:**

- <sup>1</sup> See 4.02.16.A.7 regarding Duplexes.
- <sup>2</sup> See 4.02.16.A.7 regarding Two-Family Dwellings.
- <sup>3</sup> Applies to individual unit.
- <sup>4</sup> Zoned Height of Building.
- <sup>5</sup> Property zoned C-3 shall have a minimum lot width of 75 feet.
- <sup>6</sup> Not applicable to guest rooms in hotels.

3. Residential 1 Subdistrict (~~BMUD~~ BOZD-R1).
  - a. Specific District Provisions:
    - i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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- ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 3. Dimensional Requirements in the BMUDBOZD-R1**

	House <sup>1</sup>	Rowhouse <sup>2</sup>	Apartment	Civic & Institutional
Min. Lot Width (ft)	50	25 <sup>3</sup>	100	100
Min. Front Yard (ft)	10	10	10	10
Min. Side Yard (ft)	7.5	5	7.5	10
Min. Rear Yard (ft)	15	15	15	15
Min. Floor Area (sq ft)	1,100	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	10	10
Max. Building Height (ft) <sup>4</sup>	35	35	35	35

**Notes:**

<sup>1</sup> See 4.02.16.A.7 regarding Duplexes.

<sup>2</sup> See 4.02.16.A.7 regarding Two-Family Dwellings.

<sup>3</sup> Applies to individual unit.

<sup>4</sup> Zoned Height of Building.

4. Residential 2 Subdistrict (BMUDBOZD-R2).

a. Specific District Provisions:

- i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.
- ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 4. Dimensional Requirements in the BMUDBOZD-R2**

	House <sup>1</sup>	Rowhouse <sup>2</sup>	Apartment	Civic & Institutional
Min. Lot Width (ft)	50	25 <sup>3</sup>	100	100
Min. Front Yard (ft)	25	25	25	25
Min. Side Yard (ft)	7.5	5	7.5	10
Min. Rear Yard (ft)	15	15	15	15
Min. Floor Area (sq ft)	1,100	1,000	750 per unit	n/a

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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Min. Building Separation	n/a	n/a	10	10
Max. Building Height (ft) <sup>4</sup>	35	35	35	35

**Notes:**

<sup>1</sup> See 4.02.16.A.7 regarding Duplexes.

<sup>2</sup> See 4.02.16.A.7 regarding Two-Family Dwellings.

<sup>3</sup> Applies to individual unit.

<sup>4</sup> Zoned Height of Building.

5. Residential 3 Subdistrict (BMUDBOZD-R3).

a. Specific District Provisions:

- i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.
- ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 5. Dimensional Requirements in the BMUDBOZD-R3**

	House <sup>1</sup>	Mobile Home	Rowhouse <sup>2</sup>	Apartment	Civic & Institutional
Min. Lot Width (ft)	40	40	25 <sup>3</sup>	100	100
Min. Front Yard (ft)	10	25	10	10	10
Min. Side Yard (ft)	5	7.5	5	7.5	10
Min. Rear Yard (ft)	8	10	8	15	15
Min. Floor Area (sq ft)	1,100	n/a	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	n/a	10	10
Max. Building Height (ft) <sup>4</sup>	35	30	35	35	35

**Notes:**

<sup>1</sup> See 4.02.16.A.7 regarding Duplexes.

<sup>2</sup> See 4.02.16.A.7 regarding Two-Family Dwellings.

<sup>3</sup> Applies to individual unit.

<sup>4</sup> Zoned Height of Building.

6. Residential 4 Subdistrict (BMUDBOZD-R4).

a. Specific District Provisions:

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Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway  
Triangle Community Redevelopment Area

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- i. Maximum Density is limited to the maximum density allowed by the underlying zoning district and any available density bonuses.
- ii. Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 6. Dimensional Requirements in the ~~BMUDBOZD~~-R4**

	House <sup>1</sup>	Civic & Institutional
Min. Lot Width (ft)	50	100
Min. Front Yard (ft)	25	10
Min. Side Yard (ft)	7.5	10
Min. Rear Yard (ft)	15	15
Min. Floor Area (sq ft)	1,100	n/a
Min. Building Separation	n/a	10
Max. Building Height (ft) <sup>2</sup>	35	35

Notes:

<sup>1</sup> See 4.02.16.A.7 regarding Duplexes.

<sup>2</sup> Zoned Height of Building.

7. Exceptions to Dimensional Requirements:

- a. For infill lots, the minimum front and side setbacks shall be equal to the average setback dimensions on lots within 500 feet on the same block.
- b. A zero side setback is allowed for Rowhouse, Apartment, Mixed Use and Commercial building types, where permitted, if a party wall is provided.
- c. Duplexes, where permitted, are subject to dimensional standards for a house building type, but shall have a minimum of 1,000 square feet of building area per unit and a minimum lot width of 50 feet.
- d. Two Family dwelling units, where permitted, are subject to dimensional standards for a rowhouse building type, but shall have a minimum of 1,000 square feet of building area per unit and a minimum lot width of 40 feet per unit.
- e. Setback Encroachments:
  - i. Front porches in the ~~BMUDBOZD~~ - R1 and ~~BMUDBOZD~~ - R3 subdistricts that comply with the design criteria of 4.02.16 D.4.d. are permitted to encroach into the front setback up to 7 feet, with an additional 3 feet encroachment for entry stairs.
  - ii. Arcades, awnings, and stairs are permitted to encroach into the front setback up to 5 feet.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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- iii. Bay windows may project up to 2 feet into any required setback.
  - iv. Uncovered porches and stoops that do not exceed an average finished height above grade of 36 inches may project into any required setback up to 5 feet from the property line.
  - v. Handicap ramps installed on a residential structure to provide access for a disabled resident may encroach into the front setback, unless it can be provided at another entry point.
  - vi. Accessory structures may encroach into the setbacks as provided in section 4.02.16 C.2.
  - vii. Non-structural accessory uses, such as HVAC, mechanical equipment, rain barrels, cisterns and solar panels, may encroach into the side and rear setback.
- f. Height limitations shall not apply to church spires, belfries, cupolas, and domes not intended for human occupancy, monuments, transmission towers, chimneys, smokestacks, flagpoles, masts and antennas. Parapets on a flat roof shall be no more than 5 feet in height at its highest point.
- B. Dimensional and Design Standards for the GTMUDGTOZD.
1. Mixed Use Subdistrict (GTMUDGTOZD-MXD).
- a. Specific District Provisions:
- i. Maximum Density: 12 units per acre comprised of density allowed by the underlying zoning district and available density bonuses.
  - ii. Lot and Building Dimensional Requirements: Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D., Building Types and Architectural Standards.

**Table 7. Dimensional Requirements in the GTMUDGTOZD-MXD**

	House <sup>1</sup>	Rowhouse <sup>2</sup>	Apartment	Mixed-Use	Commercial	Civic & Institutional
Min. Lot Width (ft)	50	25 <sup>3</sup>	100	100	100 <sup>5</sup>	100
Min. Front Yard (ft)	10	10	10	6.5 <sup>6</sup>	6.5 <sup>6</sup>	10
Min. Side Yard (ft)	7.5	5	7.5	10	10	10
Min. Rear Yard (ft)	15	15	20	5	5	15
Min. Waterfront Setback (ft)	25	25	25	25	25	25
Min. Floor Area (sq ft)	1,100	1,000	750 per unit <sup>8</sup>	700 per unit <sup>8</sup>	700 per unit <sup>8</sup>	n/a
Min. Building Separation	n/a	n/a	10	10	10	10
Max. Building Height (ft) <sup>4</sup>	42	42	42	56 <sup>7</sup>	56 <sup>7</sup>	42

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### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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Notes:

- <sup>1</sup> See 4.02.16.B.3 regarding Duplexes.
- <sup>2</sup> See 4.02.16.B.3 regarding Two-Family Dwellings.
- <sup>3</sup> Applies to individual unit.
- <sup>4</sup> Zoned Height of Building.
- <sup>5</sup> Property zoned C-3 shall have a minimum lot width of 75 feet.
- <sup>6</sup> Development in the Mini-Triangle Area of the GTMUDGTOZD-MXD subdistrict shall have a maximum setback of 20 feet.
- <sup>7</sup> MUPs in the Mini-Triangle Area of the GTMUDGTOZD-MXD subdistrict shall have a maximum zoned building height of 112 feet.
- <sup>8</sup> Not applicable to guest rooms in hotels.

2. Residential Subdistrict (GTMUDGTOZD-R).

a. Specific District Provisions:

- i. Maximum Density is based on maximum density allowed by the underlying zoning district and any available density bonuses.
- ii. Lot and Building Dimensional Requirements: Lot and building dimensional requirements for new development are provided below. These requirements shall be based on the building type of the principal structure(s) as described in section 4.02.16 D, Building Types and Architectural Standards.

**Table 8. Dimensional Requirements in the GTMUDGTOZD-R**

	House <sup>1</sup>	Rowhouse <sup>2</sup>	Apartment	Civic & Institutional
Min. Lot Width (ft)	50	25 <sup>3</sup>	100	100
Min. Lot Size (sq ft)	n/a	n/a	10,000	10,000
Min. Front Yard (ft)	10	10	10	10
Min. Side Yard (ft)	7.5	5	7.5	10
Min. Rear Yard (ft)	15	15	15	15
Min. Floor Area (sq ft)	1,100	1,000	750 per unit	n/a
Min. Building Separation	n/a	n/a	10	10
Max. Building Height (ft) <sup>4</sup>	35	35	35	35

Notes:

- <sup>1</sup> See 4.02.16.A.7 regarding Duplexes.

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### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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<sup>2</sup> See 4.02.16.A.7 regarding Two-Family Dwellings.

<sup>3</sup> Applies to individual unit.

<sup>4</sup> Zoned Height of Building.

#### 3. Exceptions to Dimensional Requirements:

- a. For infill lots, the minimum front and side setbacks shall be equal to the average setback dimensions on lots within 500 feet.
- b. A zero side setback is allowed for Rowhouse, Apartment, Mixed Use and Commercial building types, where permitted, if a shared wall, or party wall, is provided.
- c. Duplexes, where permitted, are subject to dimensional standards for a house building type, but shall have a minimum of 1,000 square feet of building area per unit and a minimum lot width of 80 feet.
- d. Two Family units, where permitted, are subject to dimensional standards for a rowhouse building type, but shall have a minimum of 1,000 square feet of building area per unit and a minimum lot width of 40 feet per unit.
- e. Setback Encroachments:
  - i. Front porches in the ~~GTMUDGTOZD~~ - R subdistrict that comply with the design criteria of section 4.02.16 D.4.d. are permitted to encroach into the front setback up to 7 feet, with an additional 3 feet encroachment for entry stairs.
  - ii. Arcades, awnings, stairs and raised doorways are permitted to encroach into the front setback up to 5 feet.
  - iii. Bay windows may project up to 2 feet into any required setback.
  - iv. Uncovered porches and stoops that do not exceed an average finished height above grade of 36 inches may project into any required setback up to 5 feet from the property line.
  - v. Handicap ramps installed on a residential structure to provide access for a disabled resident may encroach into the front setback, unless it can be provided at another entry point.
  - vi. Accessory structures may encroach into the setbacks as provided in section 4.02.16 C.2
  - vii. Non-structural accessory uses, such as HVAC, mechanical equipment, rain barrels, cisterns and solar panels, may encroach into the side and rear setback.
- f. Height limitations shall not apply to church spires, belfries, cupolas, and domes not intended for human occupancy, monuments, transmission towers, chimneys, smokestacks, flagpoles, masts and antennas. Parapets on a flat roof can be no more than 5 feet in height.

C. Additional Standards for Specific Uses. Certain uses may be established, constructed, continued, and/or expanded provided they meet certain mitigating standards specific to their design and/or operation. These conditions ensure compatibility between land uses and building types and minimize adverse impacts to surrounding properties.

#### 1. Accessory Parking Zones.

- a. Lots adjacent to the Neighborhood Commercial (BMUD-NC), Waterfront (BMUD-W) and Mixed Use (GTMUD-MXD) Subdistricts, designated Accessory Parking Zoning (APZ) as

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identified on the Collier County Zoning Map, may be used for off street parking or water retention and management areas, in the following manner:

- i. As an accessory use to an adjacent non-residential principal use under the same ownership or legal control; or
  - ii. As a public parking lot designated as a principal use.
- b. A buffer must be provided between the APZ and adjacent residential lots as provided in section 4.02.16 E.2.a.i.
2. Accessory Uses to Residential Structures. An accessory structure located on the property and related to the primary residence (single-family detached only) for uses which include, but are not limited to: library, studio, workshop, playroom, screen enclosure, detached garage, swimming pool or guesthouse.
- a. Ownership of an accessory structure shall not be transferred independently of the primary residence.
  - b. Accessory building(s), excluding swimming pools and screen enclosures, may be located on up to 30 percent of the side or rear yards. For the purposes of this provision, the yard shall be the area between the principal structure and the side or rear property line.
  - c. The maximum area of a guesthouse is 750 square feet, limited to 1 habitable floor; the minimum area is 500 square feet.
  - d. The guesthouse must be of new construction and must meet National Flood Insurance Program (NFIP) first habitable floor elevation requirements. The guesthouse may be above a garage or may be connected to the primary residence by an enclosed breezeway or corridor not to exceed 8 feet in width.
  - e. Fences and walls: Fences and walls located in the front yard are permitted subject to the following conditions:
    - i. The fence or wall shall not exceed 42 inches in height.
    - ii. Fence material shall be wood picket, wrought iron or material of similar appearance and durability. Garden or decorative walls may be brick, stone stucco block.
  - f. Height: The maximum zoned height of an accessory structure is 26 feet. Screen enclosures may exceed the maximum height, but in no case be higher than the principal structure or 35 feet, whichever is less.
  - g. Location: Accessory structures shall not be located in the front yard, except that accessory structures located on corner lots may be located in the front yard with the longer street frontage. In the case where a principal residential structure has been permitted prior to December 12, 2000, the accessory structure may be located in the front yard, provided the accessory structure is screened by a fence or landscaping, and garage doors shall not face the public right-of-way. Accessory structures shall be setback a minimum of 10 feet from the rear property line and shall have the same side setback as required for the principal structure for the overlay subdistrict in which it is located.
3. Artist Village.
- a. Artist village is limited to the housing of artists, such as painters, sculptors, jewelry makers, in one or more multifamily attached dwellings, clustered single-family detached dwellings, or a combination thereof.
  - b. Dwellings shall not be leased for periods less than 30 days.

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- c. Artist village consisting of clustered, single-family detached dwellings, shall be designed consistent with the provisions for cluster residential design in section 4.02.04.
  - d. Shared studio and/or gallery space shall be provided for the use of all residents of the artist village.
4. Bed and Breakfast Facilities.
- a. Minimum number of guest rooms or suites is 2 with a maximum number of 6. Guest occupancy is limited to a maximum stay of 30 days. The minimum size of bedrooms for guest occupancy shall be 100 square feet.
  - b. No cooking facilities shall be allowed in guest rooms.
  - c. Separate toilet facilities for the exclusive use of guests must be provided. At least 1 bathroom for each 2 guestrooms shall be provided.
  - d. Parking: 2 spaces plus 1 space for each bedroom. All other applicable provisions of this LDC relative to parking facilities shall apply.
  - e. Signage: 1 sign with a maximum sign area of 4 square feet containing only the name of the proprietor or name of the residence. Signs shall not be illuminated in residential subdistricts.
  - f. A 24 hour on-site manager is required.
5. Community Garden.
- a. The property shall be maintained in good condition consistent with the County's property maintenance standards. All planting materials, tools, and equipment must be removed from the site each day or secured in a permitted accessory structure.
  - b. Hours of operation shall be limited to dawn to dusk.
  - c. The sale of items from the property shall be prohibited, except by an approved special event.
  - d. Any use of fertilizer must comply with provisions set forth in Collier County Code of Ordinances, Article II: Florida-Friendly Use of Fertilizers on Urban Landscapes.
  - e. Required Yards:
    - i. Accessory buildings, including storage sheds or greenhouses, are permitted on site and must meet the *principal structure setback requirements for the subdistrict in which it is located*.
    - ii. All plantings shall be setback a minimum of 10 feet from the street right-of-way and five feet from the rear and side property lines.
  - f. Operating Procedures: A community garden must have a set of operating rules addressing the following:
    - i. Identification of, and contact information for, a garden coordinator to perform the coordinating role for the management of the community gardens;
    - ii. Maintenance and security requirements and responsibilities;
    - iii. Identification of how garden plots are assigned in a fair and impartial manner.
6. Live-Work Units.
- a. All live-work units must fully comply with any and all Building Code requirements.
  - b. The non-residential use areas shall meet accessibility requirements of the applicable Building Code (including site access and parking) and be oriented to the street.

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- c. Size: The live-work unit shall have a minimum total size of 1,000 square feet and a maximum total size of 3,000 square feet and three stories in height. The non-residential use area must occupy less than 50 percent of total unit.
  - d. The same individual(s) must occupy the non-residential use area and living area.
  - e. The live-work unit may employ a maximum of 1 non-resident worker/employee on premise at any one time.
  - f. Live-work units in non-residential subdistricts (~~BMUDBOZD-NC~~, ~~BMUDBOZD-W~~ and ~~GTMUDGTOZD-MXD~~) shall be established through the mixed use project approval process.
  - g. Limitations on use. The non-residential component of a live-work unit shall be limited in the following manner:
    - i. Live-work units in a non-residential subdistrict (~~BMUDBOZD-NC~~, ~~BMUDBOZD-W~~ and ~~GTMUDGTOZD-MXD~~) limited to uses permitted within the applicable subdistrict or underlying zoning district.
    - ii. Live-work units approved as a conditional use in a residential subdistrict (~~BMUDBOZD-R3~~ and ~~GTMUDGTOZD-R~~) shall be limited to non-residential uses including artist studio, professional office, professional service such as hair salon or tailor, or any other use deemed to be similar in nature by the BZA during the conditional use process. Non-residential uses may include ancillary retail, such as galleries selling artwork and hair salons selling hair products.
    - iii. Prohibited uses include Vehicle Maintenance or Repair, Entertainment, Drinking and Public Eating Establishment, the sale of food and beverages, Sexually-Oriented Businesses, veterinary services, and activities involving biological or chemical substances that require a controlled environment or may pose a health hazard.
  - h. Parking: 1 parking space per 500 square feet of the non-residential portion of the live-work unit plus 1 space for the residential unit.
  - i. Signage: Signage for live-work units in a commercial subdistrict shall be limited to wall signs in accordance with section 5.06.04. Live-work units located in a residential subdistrict shall be limited to 1 non-illuminated wall sign with a maximum sign area of 8 square feet.
7. Marinas and Boatyards.
- a. Repair and dry storage areas shall not be visible from the street.
  - b. Boats available for rental purposes shall be located in the water or screened with a fence or wall from the local side streets and adjacent residential lots and shall not be visible from ~~Bayshore Drive~~ the street.
  - c. All boat racks shall be enclosed with a wall or fence and the boats shall not exceed the height of the enclosure. The fence material can be wood, vinyl composite, concrete block with stucco finish or metal or a combination. No chain link fence is allowed.
  - d. Architectural standards of this BOZD apply. Height of structures may be increased to a maximum actual height of 50 feet by the Board of Zoning Appeals (BZA) upon approval of a variance petition.
  - e. ~~Outdoor displays of boats for sale on properties fronting Bayshore Drive shall be limited to the following:~~
    - i. ~~All areas used for boat display activities shall occupy no more than 35 percent of the linear frontage of the property.~~

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- ~~ii. All boat sale areas shall not be closer to the frontage line than the primary building they serve.~~
  - ~~iii. All boats located within an outdoor sales area shall not exceed the height of 17 feet above existing grade.~~
  - ~~iv. Outdoor sales areas shall be connected to the parking area and primary structure by a pedestrian walkway.~~
  - ~~v. An additional 10 foot landscape buffer is required around the perimeter of the outdoor boat sales area. This buffer must include, at a minimum 14 foot high trees, spaced at 30 feet on center and a 3 foot high double row hedge spaced at three feet on center at the time of planting.~~
  - fe. One parking space per 5 dry boat storage spaces.
  - gf. On-site traffic circulation system shall be provided that will accommodate areas for the loading and unloading of equipment that will not encroach upon residential developments.
  - g. For properties with access to an alley, the alley shall be the primary access for loading and service functions.
8. Mixed Use Project.
- a. Mixed Use Projects (MUPs) are typically human-scale, pedestrian-oriented, interconnected projects with a mix of residential and commercial uses such as retail, office and civic amenities that complement each other. Residential uses are often located above commercial uses, but can be separate areas of residential use only with close proximity to commercial uses. An interconnected street system is the basis for the transportation network. Buildings are encouraged to be built close to the vehicular and pedestrian way to create a continuous active and vibrant streetscape utilizing the architecture, landscaping, lighting, signage, and street furnishings.
  - b. Mixed Use Projects in the BMUDBOZD-NC, BMUDBOZD-W and GT MUDGTOZD-MXD shall be reviewed and permitted in accordance with section 10.02.15.
  - c. A minimum of 60 percent of all commercial uses within a ~~mixed use project~~ MUP shall provide retail, office and/or personal service uses to serve the needs of the subject project and surrounding residential neighborhoods.
  - d. A maximum of 25 percent of the residential units within a ~~mixed use project~~ MUP shall be on gated roadways, except that MUPs utilizing the Density Bonus Pool shall not be gated. Residential uses shall be constructed concurrent with, or prior to, the construction of commercial uses so as to ensure actual development of a mixed use project, or otherwise in accordance with a development schedule approved for the project and made a condition of the MUP approval.
  - e. MUPs shall provide connection to local streets, adjoining neighborhoods and adjacent developments, regardless of land use types. A grid street pattern is preferred; however, modifications may be approved, provided the vehicular network provides interconnections between internal uses and external connections to adjoining neighborhoods and land uses. The network shall fully accommodate pedestrian, bicycle, and transit.
  - f. The commercial component of a mixed use project may be located internal to the project or along the boundary; if externally located, internal access roads and service access shall be provided so as not to promote strip commercial development along external collector and arterial roadways.

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- g. Parking lots shall be dispersed throughout the project. No one parking lot shall provide more than 40 percent of the required off- street parking. Parking garages shall have no restrictions on percentage of required parking that may be accommodated. This requirement shall not apply to individual parcels less than 5 acres in size.
  - h. At least 30 percent of the gross area of ~~mixed-use projects~~ MUPs shall be devoted to useable open space, as defined in section 4.02.01 B. In the case of any request to deviate from this requirement, a donation of land, cash, or other in-kind contribution may be accepted by the CRA, where it has been demonstrated to sufficiently mitigate for the reduction of required on-site usable open space. This cash or in-kind contribution may be used to enhance the public realm (public art, plaza, fountains, etc). This usable open space requirement shall not apply to individual parcels less than 5 acres in size.
  - i. MUPs utilizing the Density Bonus Pool shall not be gated and shall comply with Sections 4.02.16.C.15.b and c. and 4.02.16.C.16 below.
  - j. For MUPs utilizing the Density Bonus Pool, a mix of use is required so that any one use (commercial, residential, institutional, business park) does not exceed 80 percent of the gross building square footage. This ratio is applicable to a MUP whether it is vertically mixed (mix of uses contained within the same building) or horizontally mixed (mix of uses within separate buildings). Nonresidential uses must be publicly accessible.
9. ~~Outdoor Display and Sale of Merchandise~~ Outdoor vending machines.
- a. No automatic food and drinking vending machines are permitted outside of any structure.
  - b. Newspaper vending machines will be limited to two machines per project site and shall be permanently affixed (not portable).
  - e. ~~Outdoor display and sale of merchandise, within front yards on improved properties, is permitted provided the merchandise is limited to the sale of comparable merchandise sold on the premises.~~
10. Outdoor Display and Outdoor Sales of boats, vehicles, construction materials, and equipment; Outdoor storage in general.
- a. Minimum lot size is 30,000 square feet for outdoor display or outdoor sales of boats, vehicles, construction materials and equipment, and for outdoor storage in general.
  - b. Total area of the property used for these outdoor functions is limited to 30 percent of the property.
  - c. These outdoor functions are limited to occupying a maximum of 35 percent of the linear frontage of the property along arterials, collectors, and local streets which are in view of, or provide access to, residential uses. These outdoor functions may occupy up to 50 percent of the linear frontage of the property along a local street which is not in view of, and does not provide access to, residential uses.
  - d. Outdoor display or sales of boats, vehicles, construction materials, or equipment and outdoor storage in general shall not be closer to the frontage line than the primary building they serve.
  - e. A maximum height of 17 feet above existing grade applies to boats, vehicles, construction materials or equipment on display or for sale outdoors, and any items stored outdoors.
  - f. Any boats, vehicles, construction material, or equipment on display or for sale outdoors, and any items stored outdoors that exceed a height of 6 feet shall be set back at least 50 feet from a property line that is adjacent to or in the view of property zoned for or used for residential purposes.

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- f. For properties with access to an alley, the alley shall be the primary access for loading and service functions.
  - g. In addition to compliance with the applicable buffer standards of LDC sections 4.06.00 and 4.02.16.E, in no case shall the screening be less than the following:
    - i. Screening of outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment requires a 10-foot wide landscape buffer along property lines around the perimeter of the outdoor display or sales area, including, at least 14-foot high trees, spaced at 30 feet on center and a 3-foot high double row hedge spaced at three feet on center at the time of planting.
    - ii. Screening of outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment along side yards and rear yards that adjoin or are in view of property zoned for residential purposes must include a minimum 6 foot high wall or fence measured from the centerline of the adjacent roadway. The wall or fence material can be wood, vinyl composite, concrete block with stucco finish, or metal, or a combination. No chain link fence is allowed. A 10 foot wide landscape buffer must be planted outside the wall or fence with trees at a minimum height of 14 feet and double row hedge at a minimum height of 3 feet at time of planting.
    - iii. Outdoor storage is subject to design standards of LDC Section 4.02.12, provided that the wall or fence material can be wood, vinyl composite, concrete block with stucco finish, or metal, or a combination. No chain link fence is allowed. Additionally, screening shall include no less than a 10 foot wide landscape buffer planted outside the wall or fence with trees at a minimum height of 14 feet and double row hedge at a minimum height of 3 feet at time of planting.
  - h. Minimum required parking spaces for outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment shall be 1 space per 1,000 square feet of outdoor display and outdoor sales area in addition to the requirement for the buildings and other uses on the site. Required parking spaces shall be clearly designated and not used for items for sale or display. Outdoor display or sales areas shall be connected to these parking spaces and to the primary structure on the site by a pedestrian walkway.
11. Commercial Vehicle or Fleet Vehicle Parking.
- a. Commercial vehicle or fleet vehicle parking may be permitted on improved property, limited to the rear yard.
  - b. In addition to compliance with the applicable buffer standards of LDC sections 4.06.02 and 4.02.16.E, in no case shall the screening be less than the following:
    - i. Screening of commercial vehicle or fleet vehicle parking that adjoins or is in view of property zoned for or used for residential purposes must include a minimum 6 foot high wall or fence measured from the centerline of the adjacent roadway. The wall or fence material can be wood, vinyl composite, concrete block with stucco finish, or metal, or a combination. No chain link fence is allowed. A 10 foot wide landscape buffer must be planted outside the wall or fence with trees at a minimum height of 14 feet and double row hedge at a minimum height of 3 feet at time of planting.
  - c. For properties with access to an alley, the alley shall be the primary access for loading and service functions and access to the commercial or fleet vehicles.
12. View of repair bays and overhead doors. Repair bays that are open or that have metal roll-up garage doors shall not be visible from a public right-of-way.

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13. Limited Density Bonus Pool Allocation. Up to four (4) dwelling units, not to exceed a density increase of 2 additional dwelling units per acre, may be allocated to multi-family or mixed use projects through a Limited Density Bonus Pool Allocation, subject to the following requirements and procedures:
- a. The project must comply with the dimensional and design standards of the BOZD or GTOZD as applicable.
  - b. The Administrative Code shall establish the process and submittal requirements for a Limited Density Bonus Pool Allocation application. Limited Density Bonus Pool Allocation applications must include site plans that meet the following standards:
    - 1.) Projects subject to the provisions of LDC section 5.05.08 shall submit architectural drawings that are signed and sealed by a licensed architect registered in the State of Florida.
    - 2.) The site construction plans shall be signed and sealed by the applicant's professional engineer, licensed to practice in the State of Florida.
    - 3.) The landscaping plans shall be signed and sealed by the applicant's landscape architect, registered in the State of Florida.
    - 4.) The survey shall be signed and sealed by the applicant's professional surveyor and mapper, registered in the State of Florida.
  - c. Staff review and recommendation. Based upon evaluation of the factors set forth in LDC section 4.02.16.C.13.f. below, County staff shall prepare a report containing review findings and a recommendation of approval, approval with conditions, or denial.
  - d. Public notice of the hearing shall be as required by the LDC section 10.03.06.R and Chapter 6 of the Administrative Code.
    - 1.) The following advertised public hearings are required:
      - a.) One Planning Commission or Hearing Examiner hearing.
      - b.) If heard by the Planning Commission, one BZA hearing.
    - 2.) The following notice procedures are required:
      - a.) Newspaper Advertisement prior to the advertised public hearing in accordance with F.S. § 125.66. - At least 15 days before the advertised Hearing Examiner hearing in a newspaper of general circulation.
      - b.) Mailed Notice prior to the advertised public hearing. Written notice shall be sent to property owners in the notification area at least 15 days before the advertised Hearing Examiner hearing. The notification area is all property owners within 500 feet of the property lines of the subject property.
  - e. The Hearing Examiner shall hold at least one public quasi-judicial hearing to review the Limited Density Bonus Pool Allocation application.
    - 1.) The Hearing Examiner shall hear the petition following receipt of the staff report and application by the Office of the Hearing Examiner. At the public hearing, the Hearing Examiner shall consider the applicant's justification for the requested additional unit(s), the staff report, the standards of approval and any other relevant testimony and evidence.
    - 2.) The Hearing Examiner shall render a decision to approve, approve with conditions, or deny the requested additional units within 30 days of the public hearing. If approved, or

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approved with conditions, the decision shall specify the number of additional units and the basis for approval.

- f. The application shall be reviewed for compliance with the following standards of approval:
- 1.) The proposed development is consistent with the Growth Management Plan.
  - 2.) The development shall have a beneficial effect upon the neighborhood and upon the BGTCRA.
  - 3.) The total land area and the area devoted to each functional portion of the development shall be adequate to serve its intended purpose.
  - 4.) Internal driveways, utilities, drainage facilities, recreation areas, building heights, yards, architectural features, vehicular parking, loading facilities, sight distances, landscaping and buffers shall be adequate for the particular use involved.
  - 5.) The project shall not be gated.
  - 6.) The petition has provided compatibility enhancements by exceeding minimum buffer requirements or incorporating streetscape enhancements.
  - 7.) Approval of the additional unit(s) will not adversely impact adjacent properties.
  - 8.) Compliance with the public realm improvement requirements in subsection 4.02.16.C.15 and 16 below.
14. Public Realm Improvement for projects which elect to utilize the Density Bonus Pool. Any allocation of Density Bonus Pool units requires an improvement to the public realm within the Bayshore Gateway Triangle Community Redevelopment Area (BGTCRA), as provided within the Bayshore Gateway Triangle Redevelopment Overlay contained in the Future Land Use Element of the Growth Management Plan.
- a. For projects seeking 1 to 4 units from the Density Bonus Pool, a contribution equal to 3% of the engineer's Opinion of Probable Cost for the project, or where no engineer's OPC is available the architect's estimate of project value shall be approved by the County Manager or designee, and shall be dedicated to the CRA's Public Art Fund, Capital Project Fund or County Capital Project fund for projects within the BGTCRA boundary.
  - b. For projects seeking 5 to 9 units from the Density Bonus Pool, a contribution equal to 5% of the engineer's Opinion of Probable Cost for the project, or where no engineer's OPC is available the architect's estimate of project value shall be approved by the County Manager or designee, and shall be dedicated to the CRA's Public Art Fund, Capital Project Fund or County Capital Project fund for projects within the BGTCRA.
  - c. For projects seeking 10 units or more from the Density Bonus Pool, the following is required:
    - 1.) In addition to the requirement of subsection b above, an additional contribution equal to 1% of the engineer's Opinion of Probable Cost for the project, or where no engineer's OPC is available the architect's estimate of project value, shall be approved by the County Manager or designee, and shall be dedicated to the CRA's Public Art Fund, Capital Project Fund or County Capital Project fund for projects within the BGTCRA for each increment of 10 density bonus units. The following examples illustrate the incremental increase in contribution:

For 10-19 Density Bonus Pool units, the contribution is calculated as 5%+ 1% = 6%.

For 20-29 Density Bonus Pool units, the contribution is calculated as 5%+ 1%+ 1% = 7%

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- 2). The project shall also provide for a free electronic charging station within their parking area or provide for a designated pull-off for transit or ride sharing service.
  - d. A contribution of an easement for public purpose or a physical public realm improvement may be approved by the CRA as an alternative or offset in value of the monetary contribution in circumstances where the adopted CRA Redevelopment Plan, Public Art Master Plan, CRA Capital Improvement Plan or County Capital Improvement Plans identify a need for a public purpose easement or public realm improvement. The value of the easement shall be the fair market value determined by a real estate appraisal approved by the County Manager or designee. Physical improvement value shall be determined according to an engineer's Opinion of Probable Cost, or where no engineer's OPC is available the architect's estimate of value, which must be approved by the County Manager or designee. Dedication of an easement or physical public realm improvement must be approved as an alternative or offset to the required contribution by the CRA.
  - e. As part of the public hearing process required for projects seeking units from the Density Bonus Pool, the applicant's contribution or public realm improvement shall be stated in a developer's contribution agreement (DCA) or condition of project approval. Prior to the issuance of the first certificate of occupancy for the project, the applicant shall provide evidence that the required contribution has been deposited within the appropriate CRA fund, public easement has been dedicated, or public realm improvement has been performed, as required by DCA or condition of approval.
  - f. The DCA or condition of project approval shall also set forth the commitment that the project shall not be gated.
  15. All Density Bonus Pool allocations shall expire 5 years from the date of approval if building permits for the allocated units have not be issued. Upon expiration, the units shall revert to the Density Bonus Pool.
- D. Building Types and Architectural Standards
1. Purpose and Intent. The purpose of this section is to supplement the provisions of LDC section 5.05.08 by identifying and providing design standards for the building types allowed within the ~~Bayshore Gateway Triangle Redevelopment Area~~ BGT CRA. The standards are intended to attach the same importance to the overall building design as is placed on the use contained therein, and to ensure that proposed development is consistent with the CRA's goals for building form, character and quality. Buildings within the ~~BMUDBOZD~~ and ~~GT MUDGTOZD~~ are expected to be added as long-term additions to the architectural vibrancy of the community.
  2. Applicability. Each proposed building shall be designed in compliance with the standards of this section for the applicable building type, regardless of the underlying zoning district provisions. The uses permitted within the building are determined by the underlying zoning district or overlay subdistrict in which it is located. All buildings shall meet the design requirements set forth in LDC section 5.05.08 unless otherwise specified in this section.
  3. General Architectural Standards.
    - a. Architectural Style: The building design standards of this section do not mandate a particular building style and permit a wide variety of architectural expressions. When a building exhibits a known architectural style (i.e., Florida Cracker, Mediterranean, Colonial, Modern) the details shall be consistent throughout the building and any accessory structures on the same site.
    - b. Frontage: The primary entrance for any building must be oriented to the street. Orientation is achieved by the provision of a front façade including an entry door that faces the street or

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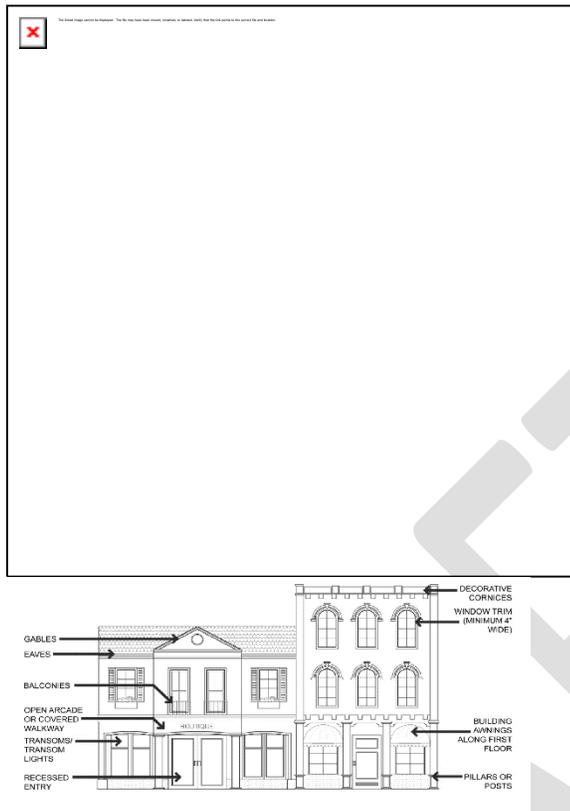
square. This requirement shall not apply to mobile homes or to buildings that are interior to a site that has other buildings that meet this provision.

- c. **Compatibility:** Proposed buildings should relate to adjacent buildings in similarity of scale, height, architectural style, and/or configuration. Exceptions to this provision include civic and institutional buildings such as churches and schools.
- d. **Façade Treatment:** Architectural elements such as windows and doors, bulkheads, masonry piers, transoms, cornices, window hoods, awnings, canopies, and other similar details shall be used on all façades facing a public right-of-way.
- e. **Exterior building color within the Cultural District.** Buildings with a mixed use or non-residential use and within the Cultural District boundary, as identified in the Community Redevelopment Agency Resolution 2008-60 as amended, shall meet the following exterior building color standards:
  - i. The use of color materials or finish paint above level 10 saturation (chroma) or below lightness level 3 on the Collier County Architectural Color Charts is limited to no more than 10 percent of a façade or the total roof area.
  - ii. Natural and manmade materials which exceed the saturation or lightness level requirements of Collier County Architectural Color Charts, such as marble, granite, stone, slate, brick, block, tile, and galvanized metal are permissible.
- f. **Deviations from exterior building color.** Applicants within the ~~Bayshore Gateway Triangle Community Redevelopment District~~ BGCRA boundaries may request a deviation from the exterior building color requirements of LDC section 5.05.08 D. A deviation request shall be subject to the procedures established in LDC section 5.05.08 G. and shall be subject to the following criteria:
  - i. The deviation request is consistent with LDC section 5.06.00, regarding sign regulations and standards.
  - ii. The deviation request consists of no more than 3 colors.
  - iii. The deviation request may not be for a color which is below lightness level 3 on the Collier County Architectural Color Charts.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

*Scrivener's note: CRA = Community Redevelopment Agency  
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*BGCRA Redevelopment Area Figure 1  
Facade Treatments  
(For illustrative purposes only)*

#### 4. Building Type: HOUSE.

- a. Description: The predominant building type in the ~~Bayshore Gateway Triangle Redevelopment Area~~ BGCRA and is intended for use as a single-family detached dwelling located on its own lot, although it may also accommodate duplexes, small multi-family dwellings, home occupations, and professional offices.

## Attachment A

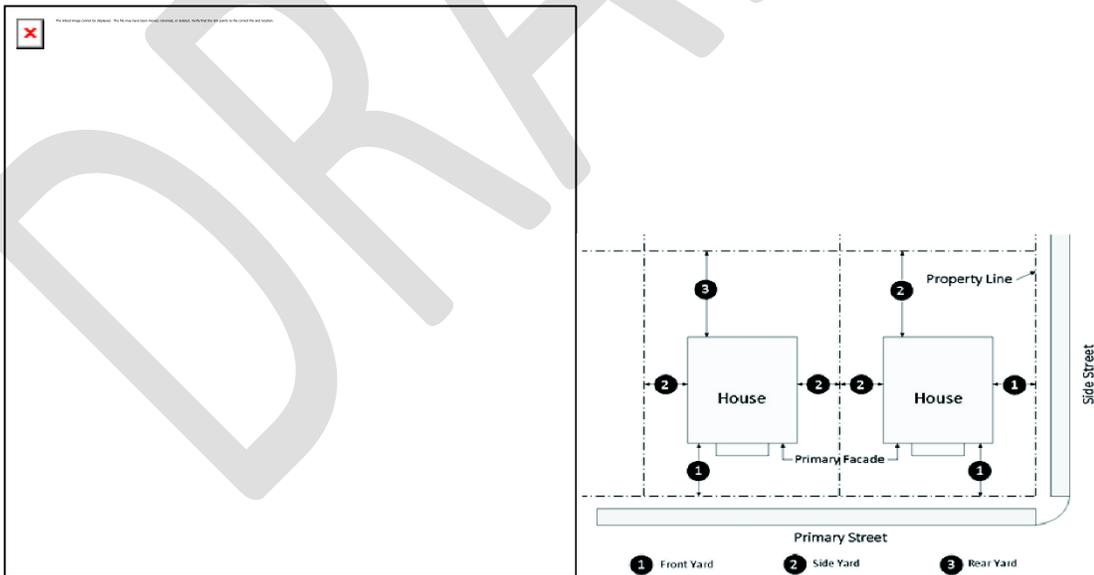
### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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*BGCRA Redevelopment Area Figure 2  
Building Type: House  
(For illustrative purposes only)*

- b. Yards: The typical House has four yards: front, sides, and rear. Corner lots shall have two front yards and two side yards, with the front yards along each street frontage.



*BGCRA Redevelopment Area Figure 3  
House Yard Diagram  
(For illustrative purposes only)*

- c. Elevation Requirements:

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

*Scrivener's note: CRA = Community Redevelopment Agency  
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- i. A maximum of two feet of fill shall be allowed on site towards meeting National Flood Insurance Program (NFIP) requirements. Additional NFIP finished habitable floor height requirements shall be accomplished through stem wall construction. Stem walls shall be finished in material and color complimentary to the principal structure.
- ii. Open stilt-type construction is not permitted. On front yards, the foundation area below the first floor must be treated with a solid façade or lattice, which is consistent with the architectural style of the building and the floodplain protection standards of section 3.02.00.
- iii. Parking is permitted under the principal structure. The garage floor shall not exceed 24 inches above the elevation of the crown of road from which it is accessed.
- iv. All Houses are required to include a total of six points based on the following aesthetic:
  - a) The following items will be calculated at two points each:
    - 1.) Metal, tile or slate roof (5v Crimp, standing seam or similar design; no corrugated metal; cannot be on a flat roof to receive points)
    - 2.) Impact windows and doors throughout the house with exterior window trim (minimum of 3 ½" wide)
    - 3.) Rear-load, side-loaded garage, or recessed garage (see garage standards below in LDC Section 4.02.16 D.4 e. Garages, Carports, and Driveways)
  - b) The following items will be calculated as one point each:
    - 1.) Front porch (see front porch requirements below in LDC Section 4.02.16 D.4.d Front Porches)
    - 2.) Awnings
    - 3.) Decorative shutters
    - 4.) Dormers
    - 5.) Balconies or loggias along the front facade
    - 6.) Decorative cornices or roof line
    - 7.) Bay, box, and bow windows with independent roofs over windows on the front of house
    - 8.) Minimum of 12 inch overhang with finished soffit and fascia
    - 9.) Pitched roof (minimum 4/12 pitch)
    - 10.) Decorative railings on balconies and front porch
    - 11.) Decorative exterior wainscoting such as stone, board and batten, and horizontal siding
    - 12.) Exterior window trim (minimum of 3 ½ inch wide)
    - 13.) 42-inch decorative front yard fence consistent with the architectural style of the principal structure (e.g., white picket fence with cottage style)
    - 14.) Garage door with windows glazing and/or architectural details that mirror the principal structure

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

*Scrivener's note: CRA = Community Redevelopment Agency*

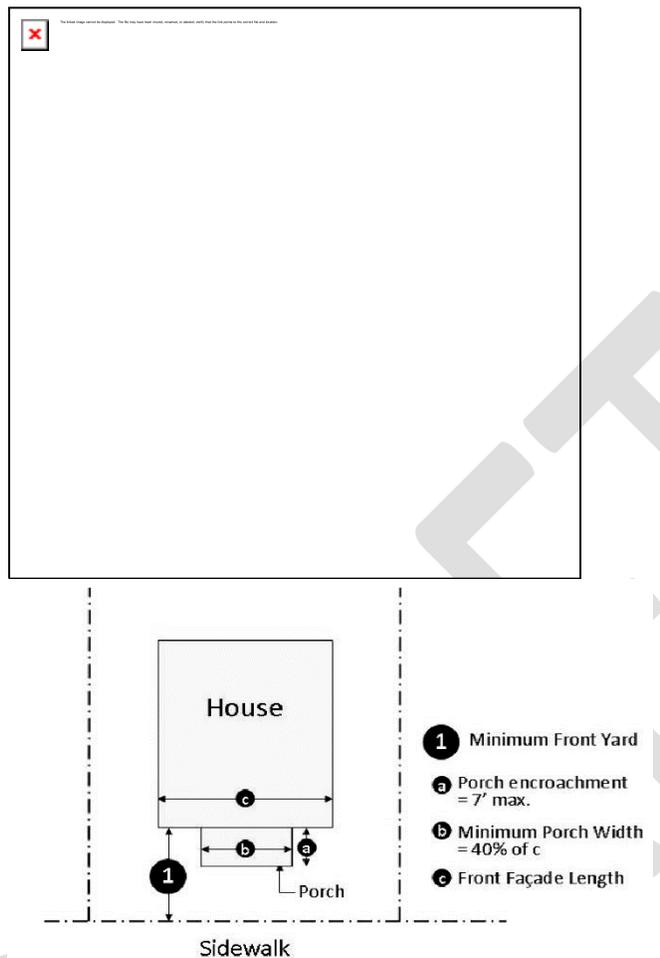
*BGTCRA = Bayshore Gateway Triangle Community Redevelopment Area*

- 15.) Front door made from high quality material framed with decorative exterior trim (minimum of 3-½ inch) with incorporated detail such as raised panel profiles and clear glass windows
  - 16.) Two story home
  - 17.) 6-foot wide sidewalk installed within the right of way
  - 18.) Gables
  - 19.) Decorative columns, pillars or posts
  - 21.) Eaves
  - 22.) Transoms
  - 23.) Decorative trellis above garage door, entry door, or window
  - 24.) Brick or cut stone (natural or cultured) accents or exterior walls
  - 25.) Elevated foundation with front porch steps
  - 26.) Brackets (e.g. wood appearing step beam, or heavy timber knee brackets)
  - 27.) Balconies or loggias
  - 28.) Cast stone lintels
- d. Front Porches:
- i. Front porches should be used as a primary architectural element and may encroach up to 7 feet into the required front setback in accordance with section 4.02.16 A.7.e.i.
  - ii. Front porches must cover a minimum of 40 percent of the horizontal length of the front yard façade of the primary residence and be at least 5 feet deep.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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*BGT CRA Redevelopment Area Figure 4  
House Porch Diagram  
(For illustrative purposes only)*

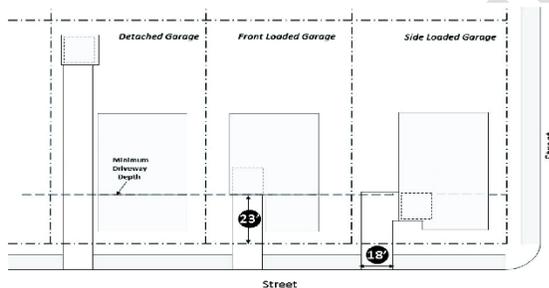
- iii. Front porches shall not be air-conditioned or enclosed with glass, plastic, or other materials. Screening the porch is allowed as long as the moldings that hold the screen material matches the material and design character of the structure.
- iv. Front second-story porches are encouraged, but no enclosed room is permitted above the front porch.
- e. Garages, Carports, and Driveways:
  - i. Garage doors, along the frontage, shall have a maximum width of 16 feet or 45 percent of the total linear frontage of the front elevation of the home, whichever is greater.
  - ii. Garage space may project beyond the front plane of the forward most or street side living space façade only if a front porch (standard for all elevations of the plan) is at minimum, flush with the forward most plane of the garage.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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- ii-iii. The driveway shall have a maximum width of 18 feet in the right-of-way area. Other than the permitted driveway, the front yard may not be paved or otherwise used to accommodate parking.
- iii-iv. Freestanding carports are prohibited. Carports and porte-cochere must be attached to the principal structure and be of similar materials and design as the principal structure. Detached garages must meet the side and rear setback requirements for an accessory structure. Carports and detached garages shall be no closer than 23 feet from the front yard setback line.
- iv-v. The distance from the back of the sidewalk to the garage door must be at least 23 feet to allow room to park a vehicle on the driveway without parking over the sidewalk. Should the garage be side-loaded there must be at least a 23 foot paved area on a perpendicular plane to the garage door or plans must ensure that parked vehicles will not interfere with pedestrian traffic.



*BGT CRA Redevelopment Area Figure 5  
Garages, Carports, and Driveways Diagram  
(For illustrative purposes only)*

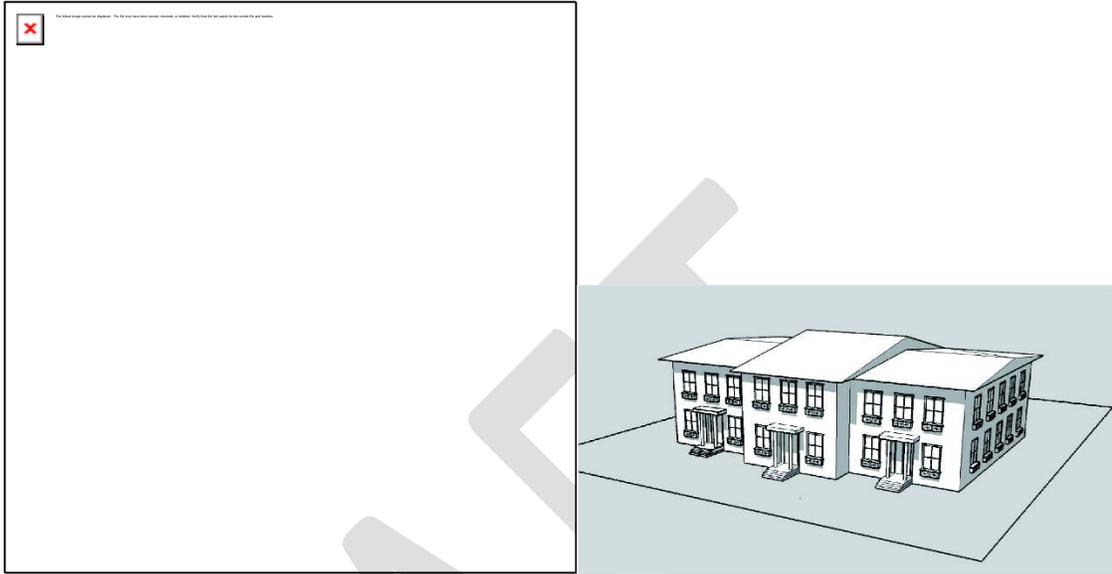
- f. Massing and Scale: Houses shall relate in mass and scale to the surrounding neighborhood and shall avoid a single, large, dominant building mass.
  - i. Houses shall include façade variations so that the maximum length, or uninterrupted curve, of any façade does not exceed 30 linear feet. This shall include both fronts of a corner lot.
  - ii. Façade variations shall be provided through projections and recesses with a minimum depth of 2 feet.
  - iii. Roofline offsets shall be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof. The maximum length of an uninterrupted flat roof, on the front facade, shall be 30 linear feet.
  - g. Materials:
    - i. House exteriors shall consist of wood clapboard, stucco finish, cement fiber board products, vinyl siding, brick or stone. Corrugated metal siding may be used as an accent, not to exceed 25% of the building's surface area.
    - ii. Pitched roofs shall be metal seam (5v Crimp, standing seam or similar design; no corrugated metal), slate, copper, asphalt, or wood shingles.
5. Building Type: ROWHOUSE.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

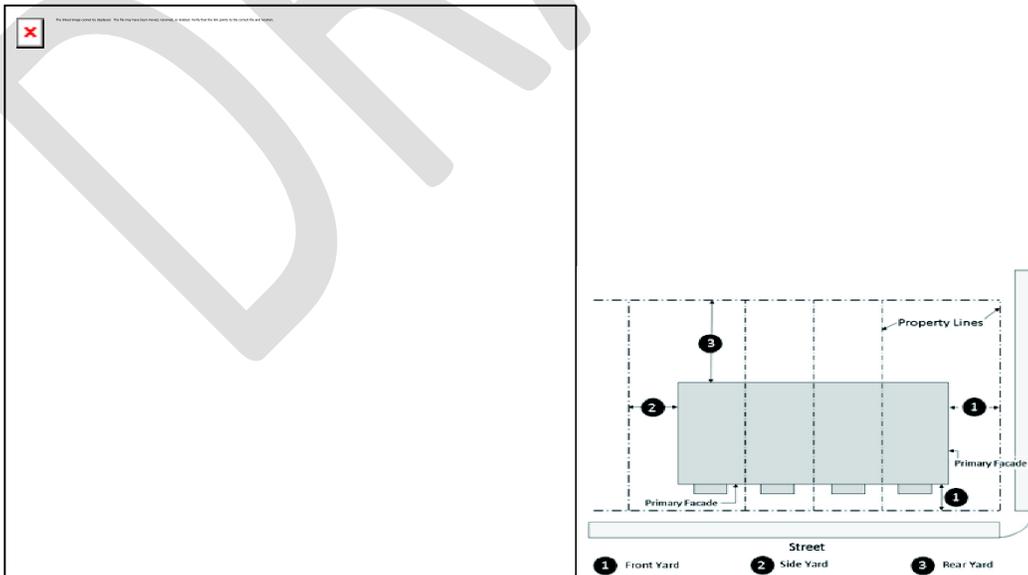
*Scrivener's note: CRA = Community Redevelopment Agency  
BGCRA = Bayshore Gateway Triangle Community Redevelopment Area*

- a. Description: A building with two or more residential units that are attached by a common wall. A rowhouse is typically a fee simple unit from ground to roof with no units above or below. A rowhouse may be used as a live-work unit.



*BGCRA Redevelopment Area Figure 6  
Building Type: Rowhouse  
(For illustrative purposes only)*

- b. Yards: The rowhouse building typically has one primary yard located to the rear of the structure with the potential for a small landscaped front yard. A side yard is required for end units. Corner lots shall have a front yard on each street frontage.



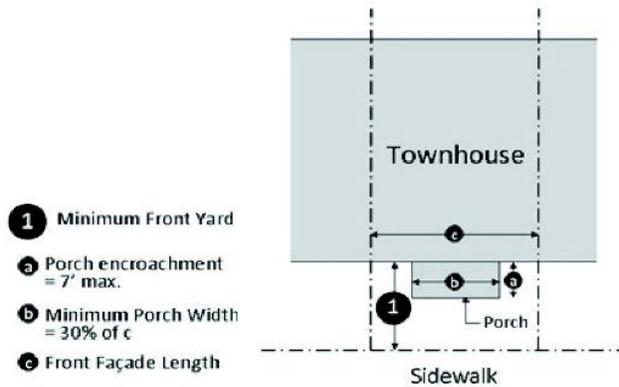
## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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**BGT CRA Redevelopment Area Figure 7**  
**Rowhouse Yard Diagram**  
*(For illustrative purposes only)*

- c. Front Porches and Stoops:
  - i. Front porches should be used as a primary architectural element and may encroach up to 7 feet into the required front setback in accordance with section 4.02.16 A.7.e.i.



**BGT CRA Redevelopment Area Figure 8**  
**Rowhouse Porch Diagram**  
*(For illustrative purposes only)*

- d. Elevation Details:
  - i. All building elevations visible from the street shall provide doors, porches, balconies, terraces and/or windows along a minimum of 60 percent of the front elevation and 30 percent of the side elevation for each building story. "Percent of elevation" is measured as the horizontal plane containing doors, porches, balconies, terraces and/or windows in relation to the total horizontal plane of the building elevation.



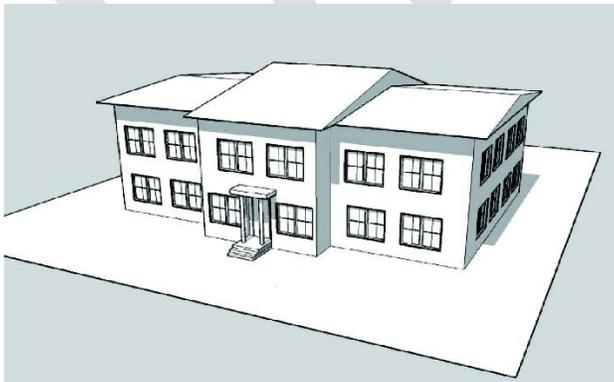
**BGT CRA Redevelopment Area Figure 9**  
**Building Elevation Diagram**  
*(For illustrative purposes only)*

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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- ii. All rowhouse buildings are encouraged to provide design details and architectural features to provide visual interest. The types of features may vary on adjacent rowhouse façade that share a common wall, and may include:
  - a) Dormers.
  - b) Gables.
  - c) Recessed entries.
  - d) Covered porch entries.
  - e) Pillars or posts.
  - f) Eaves.
  - g) Bay windows.
  - h) Balconies.
  - i) Decorative finish, such as wainscoating.
  - j) Decorative cornices and rooflines (for flat roofs).
  - k) Window trim (minimum 4 inches wide).
- e. Garages and Driveways:
  - i. Garages and off-street parking spaces are encouraged to be located to the rear of the building.
  - ii. Garage provided along the front façade of the building shall meet the following design standards:
    - a) Garages shall be recessed from the front façade of the building by a minimum of 5 feet. Driveways shall be designed to provide sufficient room for a parked vehicle without interfering with sidewalks.
    - b) Garage doors shall not exceed more than 30 percent of the front elevation.
- 6. Building Type: APARTMENT.
  - a. Description: A multiple-unit building with units arranged vertically and/or horizontally and with parking located below or behind the building. Units may be for rental or for sale in condominium ownership or may be designed as continuing care facilities or lodging (hotel).



## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

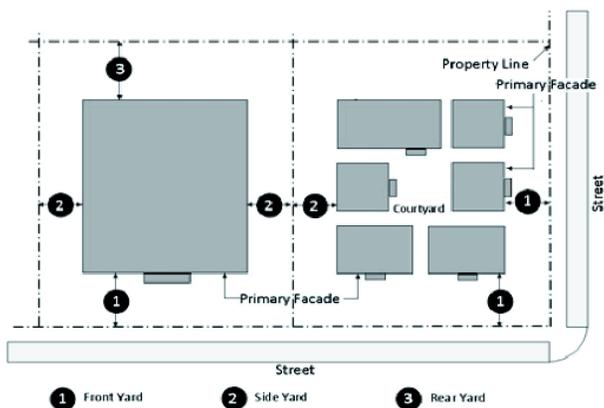
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#### BGT CRA Redevelopment Area Figure 10

Building Type: Apartment

(For illustrative purposes only)

- b. Yards: The apartment building typically has a primary yard located to the rear of the structure with secondary side yards and the potential for a small landscaped front yard. Corner lots shall have a front yard along each street frontage. Buildings located internal to a site may be arranged in a courtyard setting provided the site has at least 1 building oriented toward the street.



#### BGT CRA Redevelopment Area Figure 11

Apartment Building Yard Diagram

(For illustrative purposes only)

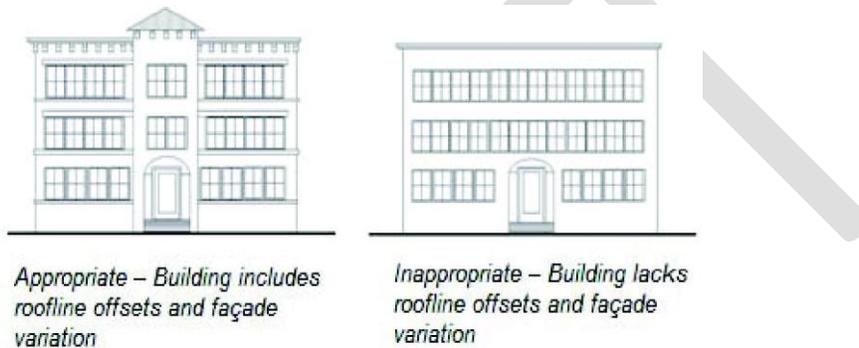
- c. Elevation Details:
- All apartment building elevations visible from the street shall provide doors, porches, balconies, terraces and/or windows along a minimum of 60 percent of the front elevation and 30 percent of the side elevation for each building story. "Percent of elevation" is measured as the horizontal plane containing doors, porches, balconies, terraces and/or windows in relation to the total horizontal plane of the building elevation.
  - All apartment buildings are encouraged to provide design details and architectural features to provide visual interest, which may include the following:
    - Dormers.
    - Gables.
    - Recessed entries.
    - Covered porch entries.
    - Pillars or posts.
    - Eaves.
    - Bay windows.
    - Balconies.
    - Decorative finish, such as wainscoating.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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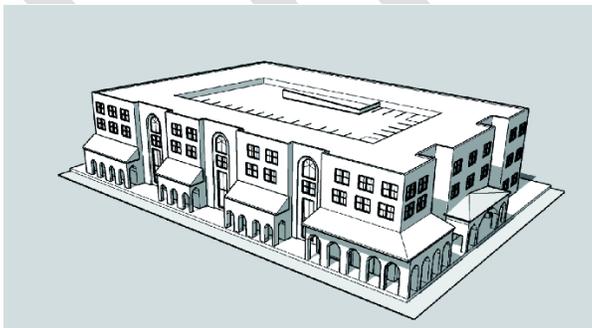
- j) Decorative cornices and rooflines (for flat roofs).
  - k) Window trim (minimum 4 inches wide).
  - l) Canopies, porticos, or porte-cocheres (integrated with the building's massing and scale).
- d. Massing and Scale: Apartment buildings shall relate in mass and scale to the adjacent built environment and shall avoid single, large, dominant building mass.
- i. Buildings over 10,000 square feet in gross building area shall include façade variations so that the maximum length, or uninterrupted curve, of any façade does not exceed 60 linear feet. Façade variations shall be provided through projections and recesses with a minimum depth of 5 feet and may include porches, balconies, bay windows and/or covered entries.



*BGT CRA Redevelopment Area Figure 12  
Massing and Scale Diagram  
(For illustrative purposes only)*

#### 7. Building Type: MIXED-USE.

- a. Description: A building which can accommodate a variety of uses, typically with the ground floor dedicated to non-residential uses and upper story floor(s) dedicated to office and/or residential uses.



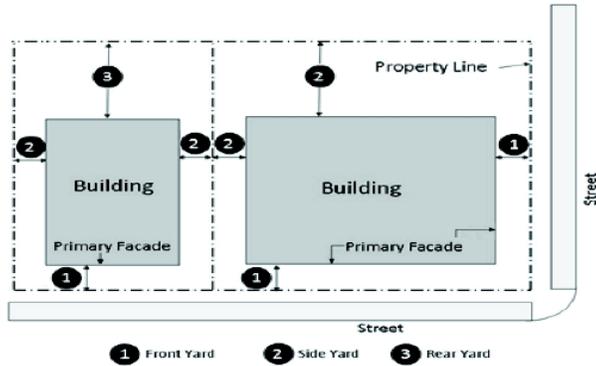
*BGT CRA Redevelopment Area Figure 13  
Building Type: Mixed-Use  
(For illustrative purposes only)*

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

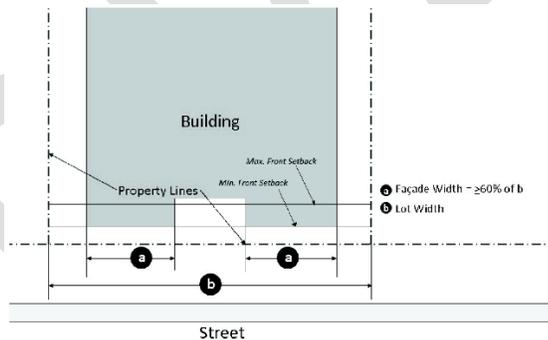
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- b. Yards: The mixed-use building typically has a primary yard located to the rear of the structure with the potential for a small front plaza or courtyard to provide public space or outdoor dining.



*BGT CRA Redevelopment Area Figure 14  
Mixed-Use Building Yard Diagram  
(For illustrative purposes only)*

- c. Multi-Story: Mixed-use buildings shall have a minimum of two stories. The first floor shall have a minimum floor-to-ceiling height of 14 feet.
- d. Street Façades: The first floor of all mixed-use buildings shall be designed to encourage and complement pedestrian-style interest and activity through the following elements:
- i. The first floor building elevation shall be located between the minimum and maximum front setback line (if provided) for a minimum of 60 percent of lot width.



*BGT CRA Redevelopment Area Figure 15  
Mixed-Use Building Facade Diagram  
(For illustrative purposes only)*

- ii. Glazing, consisting of transparent windows and doors, shall be provided along a minimum of 35 percent of the length of first floor building elevation along the primary street frontage. Building elevations along secondary street frontages shall provide 30 percent glazing.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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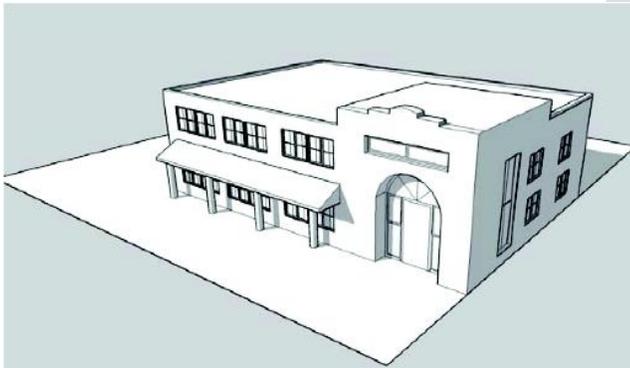
- iii. Expanses of blank walls may not exceed 20 feet in length along the primary street frontage. A blank wall is a façade that does not contain transparent windows, doors, arcades, stairs or similar features.
- e. Windows: Windows along the first floor building elevation shall meet the following standards:
  - i. Clear glass windows shall not exceed a tint of more than 25%.
  - ii. Windows shall be located between 2 and 7 feet above sidewalk grade.
- f. Building Entrances: All mixed-use buildings shall have a clearly defined principal pedestrian entrance fronting the street. Additional entrances may be oriented toward the side and rear parking lots or pedestrian pathways.
- g. Elevation Details:
  - i. All mixed-use buildings shall provide a minimum of 4 of the following design details and architectural features:
    - a) Dormers.
    - b) Gables.
    - c) Recessed entries.
    - d) Covered porch entries.
    - e) Pillars or posts.
    - f) Eaves.
    - g) Bay windows.
    - h) Balconies.
    - i) Decorative finish, such as wainscoating.
    - j) Decorative cornices and rooflines (for flat roofs).
    - k) Window trim (minimum 4 inches wide).
    - l) Canopies, porticos, or porte-cocheres (integrated with the building's massing and scale).
    - m) Open arcade or covered walkway.
    - n) Bulkheads.
    - o) Transoms.
    - p) Window hoods.
    - q) Building awnings along first floor.
- h. Massing and Scale: Mixed-use buildings shall relate in mass and scale to the adjacent built environment and shall avoid single, large, dominant building mass.
  - i. Mixed-use buildings shall include façade variations so that the maximum length, or uninterrupted curve, of any façade does not exceed 75 linear feet. Façade variations shall be provided through projections and recesses with a minimum depth of 4 feet.
  - ii. Roofline offsets shall be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof. The maximum length of an uninterrupted flat roof is 75 linear feet.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

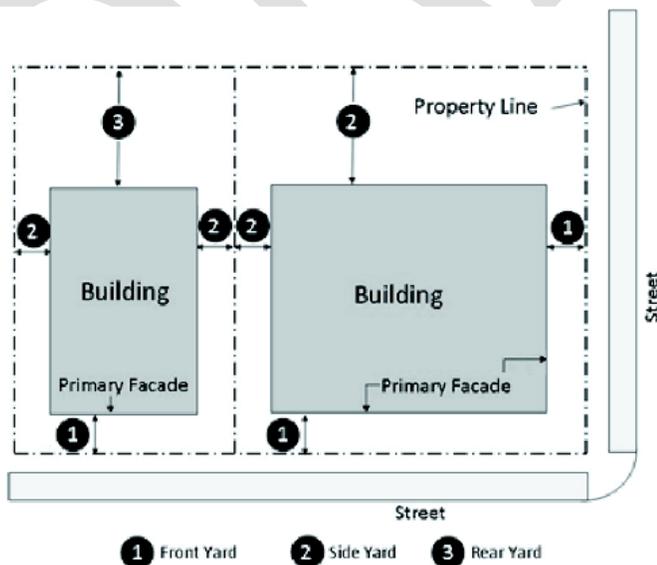
*Scrivener's note: CRA = Community Redevelopment Agency  
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- i. Materials:
  - i. Mixed-use buildings exteriors shall consist of wood clapboard, stucco finish, cement fiber board products, brick or stone.
  - ii. Pitched roofs shall be metal seam (5v Crimp, standing seam or similar design), slate, copper, or wood shingles.
- 8. Building Type: COMMERCIAL
  - a. Description: A single or multi-story building which accommodates non-residential and automobile oriented uses, such as retail and office uses. This building type provides convenient vehicle access from the fronting roadway while minimizing the negative impacts of parking lots on an active pedestrian realm.



*BGT CRA Redevelopment Area Figure 16  
Building Type: Commercial  
(For illustrative purposes only)*

- b. Yards: The commercial building has a primary yard located to the rear of the structure with the potential for a small front plaza or courtyard to provide public space or outdoor dining.



## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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#### *BGT CRA Redevelopment Area Figure 17 Commercial Building Yard Diagram (For illustrative purposes only)*

- c. Street Façades: The first floor of all commercial buildings shall be designed to encourage and complement pedestrian-style interest and activity through the following elements:
  - i. The first floor building elevation shall be located between the minimum and maximum front setback line (if provided) as provided in section 4.02.16 A.1.a.ii. for a minimum of 50 percent of lot width.
  - ii. Glazing, consisting of transparent windows and doors, covering a minimum of 30 percent of the length of first floor building elevation along the primary street frontage. Building elevations along secondary street frontages shall provide 25 percent glazing.
  - iii. Expanses of blank walls may not exceed 20 feet in length along the primary street frontage. A blank wall is a façade that does not contain transparent windows, doors, stairs or similar features.
- d. Windows: Windows along the first floor building elevation shall meet the following standards:
  - i. Clear glass windows shall not exceed a tint of more than 25 percent.
  - ii. Windows shall be located between 2 and 7 feet above sidewalk grade.
  - iii. Buildings over 20,000 square feet in floor area may utilize spandrel glass, or other faux window treatment, for up to 25 percent of the glazing requirement.
- e. Building Entrances: All commercial buildings along Bayshore Drive shall have a clearly defined principal pedestrian entrance fronting Bayshore Drive. Additional entrances may be oriented toward the side and rear parking lots or pedestrian pathways.
- f. Elevation Details:
  - i. All commercial buildings shall provide a minimum of 4 of the following design details and architectural features:
    - a) Dormers.
    - b) Gables.
    - c) Recessed entries.
    - d) Covered porch entries.
    - e) Pillars or posts.
    - f) Eaves.
    - g) Bay windows.
    - h) Balconies.
    - i) Decorative finish, such as wainscoating.
    - j) Decorative cornices and rooflines (for flat roofs).
    - k) Window trim (minimum 4 inches wide).
    - l) Canopies, porticos, or porte-cocheres (integrated with the building's massing and scale).
    - m) Open arcade or covered walkway.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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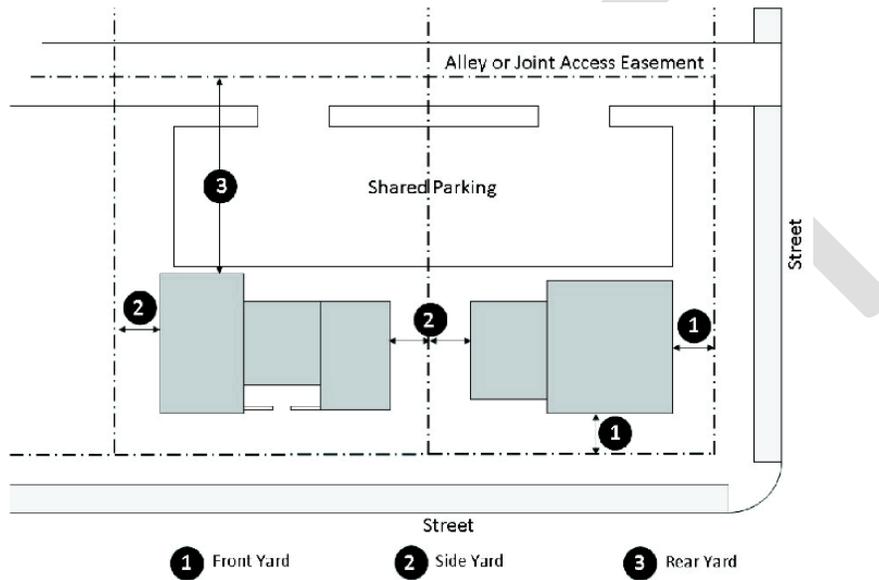
- n) Bulkheads.
  - o) Transoms.
  - p) Window hoods.
  - q) Building awnings along first floor.
- g. Massing and Scale: Commercial buildings shall relate in mass and scale to the adjacent built environment and shall avoid single, large, dominant building mass.
- i. Commercial buildings shall include façade variations so that the maximum length, or uninterrupted curve, of any façade does not exceed 100 linear feet. Façade variations shall be provided through projections and recesses with a minimum depth of 4 feet.
  - ii. Roofline offsets shall be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof. The maximum length of an uninterrupted flat roof is 100 linear feet.
- h. Awning:
- i. For awnings spanning less than 25 percent of a façade, an applicant may request a deviation from the color restriction identified in section 5.05.08 D.11.c.iv. These deviation requests shall be subject to the procedures established in section 5.05.08 G. following the review and approval by the CRA Advisory Board to ensure consistency with CRA goals and objectives and community character.
9. Building Type: CIVIC & INSTITUTIONAL.
- a. Description: A building that serves as a public gathering place and a focal point of the community. These buildings should be constructed as permanent long term additions to the area and include uses dedicated to religious, cultural, governmental or educational missions.
  - b. General Requirements: Because of the unique characteristics of civic and institutional buildings, it is generally exempt from the standards imposed on other building types in this section and the architectural standards of section 5.05.08. The following standards shall apply:
    - i. Buildings should be of sufficient design to serve as a visual anchor to the community.
    - ii. All rooftop equipment shall be screened from view.
10. Building Type: MOBILE HOME. All mobile homes are required to have the entry façade oriented towards the front of the lot.
- E. Landscaping and Buffer Requirements
- 1. Applicability: Landscaping and buffering in the ~~BMUDBOZD~~ and ~~GTMUJGTOZD~~ shall be provided in accordance with section 4.06.00, unless as specified in this section.
  - 2. Buffer Requirements: Buffers shall be provided to give spatial separation and visual screening between incompatible uses.
    - a. Perimeter Buffers: The following buffer standards shall be required for MUPs, PUDs, commercial developments and other non-residential developments in the ~~BMUDBOZD-NC~~, ~~BMUDBOZD-W~~ and ~~GTMUJGTOZD-MXD~~ subdistricts.
      - i. Buffers adjacent to residential uses and residentially zoned properties shall be consistent with one of the following:
        - a) Ten foot wide buffer including a 6 foot high opaque masonry wall and a row of trees spaced no more than 30 feet on center; or

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

*Scrivener's note: CRA = Community Redevelopment Agency  
BGTCRA = Bayshore Gateway Triangle Community Redevelopment Area*

- b) Fifteen foot wide buffer including trees spaced no more than 25 feet on center and a hedge consisting of ten gallon plants five feet in height, three feet in spread and spaced a maximum four feet on center at the time of planting.
- ii. Buffers adjacent to non-residential uses shall include a shared 10 foot wide buffer. Each property must contribute a minimum of 5 feet to the buffer. This buffer area may be provided in the form of landscaped area with plantings consistent with the Type A buffer requirements and/or hardscaped courtyards, mini-plazas, outdoor eating areas, and building foundation planting areas. This buffer requirement is not required in the side yard between non-residential uses that share a common wall or between shared parking facilities.



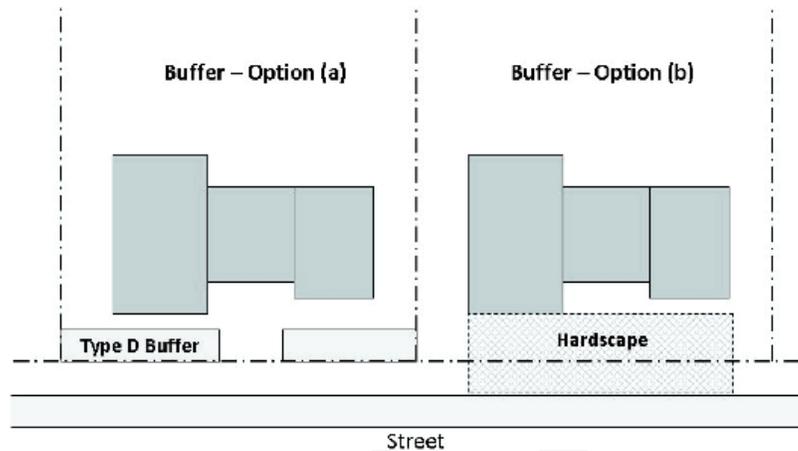
*BGTCRA Redevelopment Area Figure 18  
Shared Buffer Diagram  
(For illustrative purposes only)*

- iii. Road Right-of-Way Buffers: Road right-of-way buffers for multi-family (excluding house and rowhouse building types) and non-residential developments are encouraged to coordinate with and complement the Bayshore Gateway Triangle Streetscape Guidelines.
  - a) Developments within an Activity Center must provide a 20 foot Type D buffer adjacent to US 41, Tamiami Trail, meeting the design standards of section 4.06.02 C.4.
  - b) All other developments shall provide a buffer consisting of one of the following:
    - 1) Minimum 10 foot wide Type D buffer meeting the design standards of section 4.06.02 C.4.
    - 2) A hardscaped area extending from the back of the street planting zone to the primary front façade. The hardscaped area shall perform as an expanded public realm and may include benches, outdoor eating areas, plazas, fountains, and art pieces.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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*BGT CRA Redevelopment Area Figure 19  
Road Right-of-Way Buffer Diagram  
(For illustrative purposes only)*

#### 3. Parking Lot Landscaping:

- a. A maximum of 30 percent of the landscape islands may have a minimum width of 5 feet inside planting area and may be planted with a palm tree equivalent.
- b. Minimum tree size shall be 1- $\frac{3}{4}$ " caliper and a minimum of 10 feet in height.
- c. Parking lot perimeter:
  - i. Parking lots shall include perimeter planting areas that are a minimum of 5 feet in width. Shrubs shall be arranged in a staggered pattern with a minimum size of 3 gallons at the time of planting to provide year-round screening. Trees shall be included in the perimeter landscape area at a minimum spacing of one tree/palm per 25 feet of linear frontage.
  - ii. Streetwalls shall be used when surface parking lots for non-residential uses abut the right-of-way of Bayshore Drive, Van Buren Avenue, Thomasson Drive in the ~~BMUDBOZD~~ and US 41, Davis Boulevard, and Commercial Drive in the mini-triangle portion of the ~~GT MUDGTOZD~~.
    - a) The wall shall complement the materials and colors of the primary buildings and be 3 to 4 feet in height and shall have a 12 inch projection or recess a minimum of every 15 feet.
    - b) The streetwall shall be set back the same distance as the primary building façade; however, the streetwall shall meet County standards for site distance triangles per section 4.06.01 D.1.
    - c) The street side of the streetwall shall have trees at 30 feet on center planted within tree wells or a minimum 5 foot wide strip with ground covers other than grass.
    - d) The streetwall structure shall be protected through the use of a root barrier system as identified by LDC section Figure 4.06.05.H.A.
    - e) No streetwall is required if all of the parking is located in rear of the development.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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4. **Building Foundation Planting:** Building foundation plantings shall be required per section 4.06.05 of the LDC, except as follows. The building shall provide the equivalent of 10 percent of its gross ground level floor area, in building foundation planting area. A continuous building foundation planting width is not required per section 4.06.05 of the LDC. However, the foundation plantings shall be located within 25 feet of the building edge in the form of landscaped courtyards and seating area landscaping.
  5. **Water Management Area:** The water management area may be located within any required buffer area provided all buffer plantings can be accommodated.
  6. **Plant Materials:** Landscaping in the BMUDBOZD and GTMUDGTOZD shall utilize tree and shrub plants that are identified in the Collier County Native Plant List in order to minimize maintenance and water demands after establishment. Ornamental plantings should be drought-tolerant in nature, consistent with Florida Yards & Neighborhoods Program, and cross-referenced with the latest Florida Exotic Pest Plant Council (FLEPPC) listing of invasive species (Categories I and II).
- F. **Parking Standards.** The purpose of the parking standards for the BMUDBOZD and GTMUDGTOZD is to regulate the location, siting, and design of on-street and off-street parking in a manner that provides convenient access to adjoining uses, reduces increased surface level heat and glare, and enhances pedestrian, bicyclist and motorist safety and visibility within the built environment. Parking in the BMUDBOZD and GTMUDGTOZD shall be as provided for in section 4.05.00, except as specified in this section.
1. **Parking Space Requirements:** Parking spaces shall be provided in accordance with the following table. For uses not specifically listed, the most similar category shall be used to calculate the minimum parking requirements. Net Floor Area is defined as total floor area excluding mechanicals and core space.

**Table 1. Parking Space Requirements in the BMUDBOZD and GTMUDGTOZD**

Use Type	Minimum Parking Spaces
Single-Family Residential	2.0/ dwelling unit
Multi-family Residential	
1-bedroom	1.0/ dwelling unit
2-bedroom	1.5/ dwelling unit
3 or more bedrooms	2.0/ dwelling unit
Lodging	1.0/room
Places of worship	1/4 seats (pews: 1 seat = 1.5 feet)
Assembly/Museum/Gallery	1/500 sq. ft. of net floor area open to the public
Institutional	1/300 sq. ft. of net floor area
General Office	1/350 sq. ft. of net floor area
Retail	1/300 sq. ft. of net floor area
Restaurant <sup>1</sup>	1/150 sq. ft. of net floor area or 1/4 seats, whichever is greater
Industrial/Manufacturing	1/500 sq. ft. of net floor area
Warehousing	1/1,000 sq. ft. of net floor area

**Attachment A**

Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway  
Triangle Community Redevelopment Area

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<u>Marinas and Boatyards</u>	<u>1/ 5 dry boat storage spaces</u>
<u>Outdoor display and outdoor sales of boats, vehicles, construction materials, and equipment</u>	<u>1/1,000 sq. ft. for outdoor display and sales area</u>

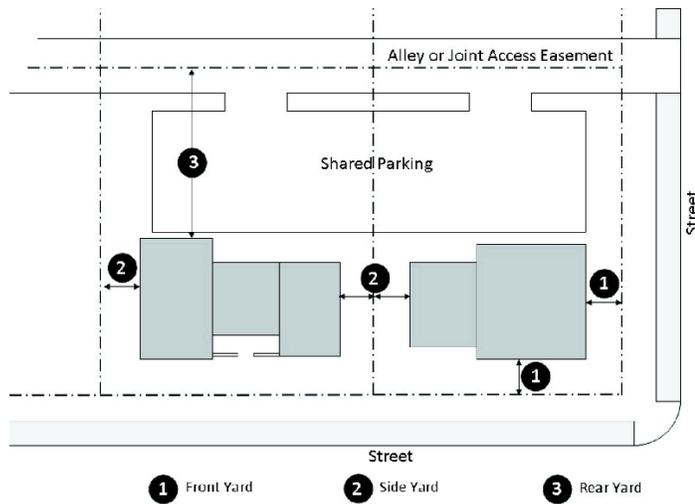
Note: <sup>1</sup> Outdoor café seating shall be exempt from parking calculations.

2. Adjustments to Parking Space Requirements: Developments which meet any of the following standards may be exempted from the minimum parking requirements of this section.
  - a. Public parking facilities. The CRA can make parking on CRA owned property available to meet the minimum parking requirements for new construction or redevelopment projects. An applicant must provide documentation stating the parking allocation has been approved by the CRA as part of the MUP, site development or site improvement plan process. The public parking facility must be located within one-half mile of the development. Once spaces are allocated to a specific property through the approval of the MUP, SDP or SIP, the applicant has one year to begin utilizing the parking. If the spaces are not used within one year, and an extension is not granted by the CRA, the spaces will be made available for reallocation and all development orders shall be revised accordingly.
  - b. Off-site parking. Off-site parking may be used in order to meet the minimum parking requirements, provided the off-site parking is located no farther than 1,200 feet from the use it will serve. The location and design of the off-site parking will be shown on the SDP or SIP and approved as part of the SDP or SIP review and approval process. The required parking spaces will be committed by a recordable covenant, lease, or other agreement.
  - c. Shared parking. Shared parking is permitted for new development if the applicant establishes that the peak parking demands for the new uses clearly occur at different times. A shared parking agreement must be recorded by a recordable covenant, lease, or other agreement. Shared parking lots must be within 600 feet of each use and may not be separated from the use by a street right-of-way or easement exceeding 60 feet in width.
  - d. On-street parking. Where on-street parking exists or is permitted, a development may count the spaces directly along the site's frontage toward the minimum parking requirement, however the on-street parking spaces are considered public spaces and are not for the exclusive use of the adjacent use.
  - e. Tree preservation. The minimum number of spaces required may be adjusted by the County Manager or designee when it has been determined that the reduction is necessary to preserve a healthy tree or trees (with a 12 inch or greater diameter at breast height) from being damaged or removed, and where the site plan provides for the retention of said tree or trees.
  - f. Connectivity. Parking lots are encouraged to connect to adjacent lots through the use of a joint access easement. If a joint access easement is provided for connectivity, then the minimum parking requirement for the use may be reduced by 10 percent.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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*BMUDBOZD and GTMUDGTOZD Area Figure 20  
Parking Diagram  
(For illustrative purposes only)*

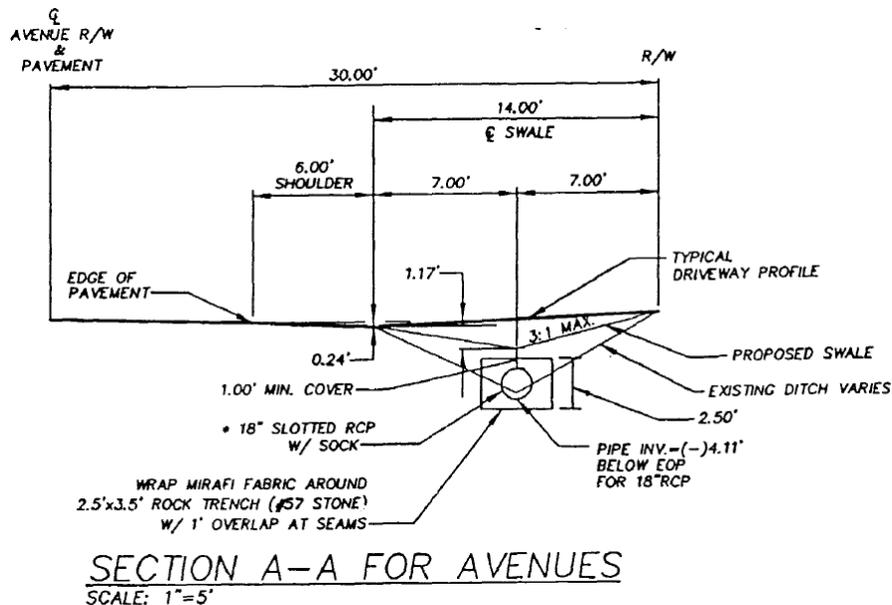
#### 3. On- Street Parking.

- a.—On- street parking may be allowed on local streets subject to an approved right-of-way permit to construct parking spaces in the public right-of-way and subject to the following criteria:
  - a. Design shall be in accordance with a stormwater management plan approved by the Collier County Stormwater Management Section for the surrounding area including the street where on-street parking is proposed.
  - b. If swale enclosure is proposed, the design must comply with swale enclosure design criteria established in the stormwater management plan approved by the Collier County Stormwater Management Section; or where none are established, design must comply with *Criteria for Enclosure of Swales in the Rights-of-way* (Exhibit "A" from Ordinance 2003-58, as amended).
  - c. If swale enclosure is proposed, the section shall be consistent with the design section established in the stormwater management plan approved by the Collier County Stormwater Management Section; or where none is established, design shall be consistent with Section A-A from Ordinance 98-001, as amended, and pipe material must be perforated for runoff collection.

## Attachment A

### Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

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- c. Analysis must be provided to compare the existing swale volume with the typical South Florida Water Management District criteria of one inch over the drainage area or 2.5 inches over the impervious area. The swale enclosure shall be designed for the highest volume. Water quality in the amount of 50% additional volume shall also be provided.
- d. Analysis must be provided to identify and quantify upstream runoff, including the discharge associated with proposed development impacts that is directed toward the swale enclosure. The extent of upstream runoff to be analyzed shall be determined through review with County Right of Way permitting review staff and Stormwater review staff.
- e. Any improvements within the right-of-way are subject to removal from the right-of-way, or reset or relocation thereon as required and so notified by the County, and at the expense of the Permittee, his successor, or assignees.
- bf. Parallel parking shall be a minimum of 9 feet wide by 23 feet long, but is not required to be striped. For every 5 on- street parking spaces provided, a landscape island that is 8 feet wide and 15 feet long and is surrounded by Type D concrete curbing shall be provided, in addition to the pedestrian clear zone landscape requirement. The corners adjacent to the travel lane shall be angled at least 45 degrees away from perpendicular with the curb in order to provide adequate ingress and egress from each parallel parking space. Each island shall be planted with hedges, groundcover and/or grasses less than 36 inches high and shall contain at least one small to medium ornamental tree that is a minimum of 8 feet tall at the time of planting.
- eg. Angled parking may be 45 degrees or 60 degrees from the travel lane. Spaces must be a minimum of 9 feet wide and 18 feet long. For every 8 on- street parking spaces provided, a landscape island that is 12 feet wide and 15 feet long and is surrounded by Type D concrete curbing shall be provided, in addition to the pedestrian clear zone landscape requirement. The island shall be planted with hedges, groundcover, and/or grasses less than 36 inches high and shall contain at least one small to medium ornamental tree that is a minimum of 8 feet tall at the time of planting.

**Attachment A**

Revisions to LDC Section 4.02.16 – Design Standards for Development in the Bayshore Gateway Triangle Community Redevelopment Area

*Scrivener’s note: CRA = Community Redevelopment Agency  
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- 4. Off-Street Parking Location: Off-street parking is encouraged to be located to the side or rear of the building in order to establish a pedestrian friendly environment. Off-street parking in front of buildings abutting Bayshore Drive and Thomasson Drive in the ~~BMUDBOZD~~ and US 41, Davis Boulevard and Commercial Drive in the mini-triangle area of the ~~GTMUDGTOZD~~ shall not exceed 50 percent of that building's parking requirements and shall be limited to a single-aisle double loaded parking lot. Parking lots abutting Bayshore Drive may have perimeter walls functioning as pedestrian seating or public art walls.
- 5. Bicycle Parking: Bicycle parking shall be required as provided for in section 4.05.08, except as provided below.
  - a. Number of Required Spaces: The number of bicycle parking spaces shall be as provided for in section 4.05.08 B.
  - b. Location: Bicycle parking shall have access via sidewalks, pathways or driveways to the public right-of-way and be located as provided below:
    - i. Parking Structures: Required bicycle parking within a structure shall be located in or near main entrances or elevators to provide for pedestrian safety, visibility, and security of property.
    - ii. On Site: Bicycle parking (not located within a parking structure) shall be located on site within 50 feet of main building entrances. Bicycle parking shall not obstruct walkways.
    - iii. Right-of-Way: Bicycle parking may be located in the public right-of-way subject to an approved right-of-way permit.
    - iv. Shared Bicycle Parking: Where there is more than one building on a site, or parking is shared with an adjacent site, bicycle parking shall be distributed equally to serve all buildings and main entrances.
- G. Signage. Signage shall be permitted as allowed by section 5.06.00, except as otherwise regulated by this section for specific uses.
- H. Murals. Murals are allowed as public art within the ~~Bayshore Gateway Triangle Redevelopment Area~~ BGTCRA subject to the following conditions:
  - 1. Murals are only allowed on commercial, civic or institutional buildings.
  - 2. Building must be located within the proposed Cultural District boundary, Community Redevelopment Agency Resolution 08-60, and cannot be located along U.S. 41.
  - 3. One mural is allowed per building.
  - 4. Murals are permitted on sections of buildings where there are no windows or doors or where the mural will not interfere with the building's architectural details.
  - 5. The mural cannot exceed 200 square feet unless specifically approved by the CRA Advisory Board.
  - 6. The mural shall not contain text for the purpose of advertising any business or commercial activity.
  - 7. The mural cannot be temporary in nature and the building owner must commit to maintaining the mural.
  - 8. Review and approval from the CRA Advisory Board is required to ensure the mural complies with the conditions above and that the artwork complements the design of the building in color, shape, and location.

# # # # # # # # # # # # #

II. Implementation Strategy

Future Land Use Designation Description Section

V. OVERLAYS AND SPECIAL FEATURES

\* \* \* \* \*

(IV)(IX)(XXV)(XXXII)(XLVII)

**F. Bayshore/Gateway Triangle Redevelopment Overlay**

The Bayshore/Gateway Triangle Redevelopment (BGTR) Overlay, depicted on the Future Land Use Map, is within the boundaries of the Bayshore/Gateway Triangle Community Redevelopment Plan adopted by the Board of County Commissioners on June 13, 2000, as updated by Board Resolution 2019-75. The intent of the redevelopment program is to encourage the revitalization of the Bayshore/Gateway Triangle Community Redevelopment Area (BGTCRA) by providing incentives that will encourage the private sector to invest in this urban area. This Overlay allows for additional neighborhood commercial uses and increased intensity and higher residential densities that will promote the assembly of property, or joint ventures between property owners, while providing interconnections between properties and neighborhoods. The intent of this BGTR Overlay is to allow for more intense development in an urban area where urban services are available. Two zoning overlays have been adopted into the Collier County Land Development Code to aid in the implementation of this Overlay. Within the BGTR Overlay a density bonus pool has been established to incentivize investment within the BGTCRA. The additional units available to a project are to incentivize redevelopment and to promote investment in the public realm. The following provisions and restrictions apply to this Overlay:

- (XLVII) 1. **Mixed-Use Development:** A mix of residential and commercial uses is permitted. For such development, commercial uses are limited to C-1 through C-3 zoning district uses, except as otherwise provided for in the Mini Triangle Subdistrict; hotel/motel use; theatrical producers (except motion picture), bands, orchestras, and entertainers; and, uses as may be allowed by applicable FLUE Policies. Mixed-use projects will be pedestrian oriented and are encouraged to provide access (vehicular, pedestrian, bicycle) to nearby residential areas. The intent is to encourage pedestrian use of the commercial area and to provide opportunity for nearby residents to access these commercial uses without traveling onto major roadways. Parking facilities are encouraged to be located in the rear of the buildings or in parking structures that may be below, at, or above grade, with the buildings oriented closer to the major roadway to promote traditional urban development.
- (XLVII) 2. Residential uses are allowed within this Overlay. Permitted density shall be as determined through application of the Density Rating System, and applicable FLUE Policies, except as provided below, or as may be limited by a zoning overlay, or as otherwise provided within the Mini Triangle Subdistrict.
- 3. Non-residential/non-commercial uses allowed within this Overlay include essential services; parks, recreation and open space uses; water-dependent and water-related uses; child care centers; community facility uses; safety service facilities; and utility and communication facilities.

(XV)(XXXII)(XXXVII)(XLIV)(XLVII)

- 4. Density Bonus Pool for mixed use projects. Properties with access to US 41 East and/or Bayshore Drive and/or Davis Boulevard (SR 84) and/or the west side of Airport-Pulling Road may be allowed a maximum density of twelve (12) residential units per acre via use of the density bonus pool ~~identified~~ described further in paragraph 4412 below, except that no project may utilize more than ~~97 units~~—25% of the total density

(XLVII) = Plan Amendment by Ordinance No. 2018-23 on May 8, 2018

Attachment B

Future Land Use Element as of Ordinance No. 2018-48 adopted September 25, 2018

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pool units available, or 10 units, whichever is greater. ~~The 97 unit cap will terminate when the BCC adopts, by LDC amendment, limitations and a cap on the use of the 388 density pool units for any one project.~~ In order to be eligible for this higher density, the project must be integrated into a mixed-use development with access to existing neighborhoods and adjoining commercial properties and comply with the standards identified in paragraph no. ~~89~~ and no. 14, below, except for mixed use projects developed within the “mini triangle” catalyst project site as identified on the Bayshore/Gateway Triangle Redevelopment Overlay Map. The “mini triangle” catalyst project site is eligible for the maximum density of 12 units per acre, with development standards as contained in the Gateway Triangle ~~Mixed-Use Overlay Zoning~~ District ~~zoning overlay~~, adopted February 28,2006 (Ordinance No. 06-08), and amended December 14, 2006 (Ordinance No. 06-63), and subsequently amended. For projects that do not comply with the ~~requirements for this density increase the criteria established herein for density bonus pool eligibility,~~ their density is limited to that allowed by the Density Rating System and applicable FLUE Policies, except as may be limited by a future the applicable zoning overlay. Properties located within the Mini Triangle Subdistrict are exempt from this paragraph.

(XV)(XXXII)(XLIV)(XLVII)

- 5. Density bonus pool for residential-only projects on Bayshore Drive. Properties having frontage on ~~one or more of~~ Bayshore Drive, Davis Boulevard, Airport Pulling Road ~~(west side only) or US 41 East,~~ may be allowed to redevelop as a residential-only project at a maximum density of eight (8) residential units per acre via use of the density bonus pool ~~identified in paragraph 11~~ except that no project may utilize more than ~~97 units – 25% of the 388 total density bonus pool units available~~ or 10 units, whichever is greater. ~~The 97 unit cap will terminate when the BCC adopts, by LDC amendment, limitations and a cap on the use of the 388 density pool units for any one project.~~

In order to be eligible for ~~this higher density the redevelopment~~ the density bonus pool units, the residential-only project along Bayshore Drive must comply with the following:

- a. Project shall be in the form of a PUD.
- b. Project site shall be a minimum of three acres.
- ~~c. Project shall constitute redevelopment of the site.~~
- ~~d.c.~~ All residential units shall be market rate units.
- d. Project must comply with eligibility criteria in paragraph no.14 below.

For projects that do not comply with the ~~requirements for this density increase criteria established herein for density bonus pool eligibility,~~ their density is limited to that allowed by the Density Rating System and applicable FLUE Policies and that of the applicable zoning overlay. Properties located within the Mini Triangle Subdistrict are exempt from this paragraph.

- 6. Limited Density Bonus Pool Allocation for Multi-Family or Mixed Use projects. Up to four (4) dwelling units, not to exceed a density increase of 2 additional dwelling units per acre, may be allocated to multi-family or mixed use projects through a limited density bonus pool allocation subject to eligibility criteria listed in a-e below.
  - a. Project shall be within a zoning district or overlay zoning district that permits multi-family development or mixed use development.
  - b. Project size is limited to a maximum of 2 acres.
  - c. The maximum number of additional units is limited to four (4) additional units, and

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Future Land Use Element as of Ordinance No. 2018-48 adopted September 25, 2018

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shall not exceed a density increase of 2 additional dwelling units per acre.

d. The limited density bonus pool allocation is not a rezoning of the land, but rather an incentive to achieve a more urban style of development per the Bayshore Gateway Triangle Community Redevelopment Plan (adopted May 2019).

e. The project must satisfy the development standards of the Bayshore Overlay Zoning District or the Gateway Triangle Overlay Zoning District and applicable standards of the Limited Density Bonus Pool Allocation in 4.02.16.C.13 of the Land Development Code.

(XV)(XXXII) ~~67~~. For parcels currently within the boundaries of Mixed Use Activity Center #16, land uses will continue to be governed by the Mixed Use Activity Center Subdistrict, except residential density may also be increased through the density bonus pool as provided for in paragraphs 4 ~~and 5~~ through 6, above. The development standards of the Bayshore ~~Drive Mixed Use Overlay~~ Zoning District or Gateway Triangle ~~Mixed Use Overlay~~ Zoning District in the Collier County Land Development Code, whichever is applicable, shall apply to all new development within the Activity Center.

(XV) ~~78~~. Existing zoning districts for some properties within the ~~Bayshore/Gateway Triangle Redevelopment~~ BGTR Overlay allow uses, densities and development standards that are inconsistent with the uses, densities and development standards allowed within this Overlay. These properties are allowed to develop and redevelop in accordance with their existing underlying zoning until such time as a zoning overlay is adopted which may limit except for limitations on such uses, densities and development standards established in the Bayshore Overlay Zoning District or the Gateway Triangle Overlay Zoning District. If properties develop or redevelop in accordance with the overlay zoning allowances and standards, the redevelopment of the property cannot revert back to the underlying zoning district.

(XV)(XXXII)(XLIV)(XLVII)

~~89~~. To qualify for twelve (12) dwelling units per acre, as provided for in paragraph no. 4 above (Density Bonus Pool for mixed use projects), or as otherwise permitted within the Mini Triangle Subdistrict, mixed use projects within the ~~Bayshore/Gateway Triangle Redevelopment~~ BGTR Overlay must comply with the design standards of the Bayshore ~~Drive Mixed Use Overlay~~ Zoning District or Gateway Triangle ~~Mixed Use Overlay~~ Zoning District in the Collier County Land Development Code, whichever is applicable, or in the case of the Mini Triangle Subdistrict, mixed use projects may utilize the design standards set forth in the Mini Triangle Subdistrict and its implementing MPUD zoning.

(XXXII)(XLIV) ~~910~~. For density bonuses provided for in paragraphs nos. 4 ~~and 5~~ through 6 above, base density shall be per the underlying zoning district. The maximum density of twelve (12) or eight (8) units per acre shall be calculated based upon total project acreage. The total project acreage may be counted for density purposes. The bonus density allocation is calculated by deducting the base density of the underlying zoning classification from the maximum density being sought. The difference in units per acre determines the bonus density allocation requested for the project.

(XV)(XXXII)(XLVII)

~~1011~~. Only the affordable-workforce housing density bonus, as provided in the Density Rating System, and the density provided for within the Mini Triangle Subdistrict are allowed in addition to the eligible density provided herein. For all properties, the maximum density allowed is that specified under Density Conditions in the Density Rating System, except as provided for within the Mini Triangle Subdistrict.

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(XV)(XXXII)(XLIV)(XLVII)

~~11~~ 12. Density Bonus Pool. A maximum of 388 dwelling units are permitted were originally allocated to be utilized in this BGTR Overlay for density bonuses, as provided in paragraphs nos. 4 and 5 above. This The 388 dwelling unit density bonus pool corresponds corresponded with the number of dwelling units previously entitled to the Botanical Gardens sites prior to their rezone in 2003 to establish the Naples Botanical Gardens PUD.

The Density Bonus Pool will be updated and tracked by the County Manager or designee. The Density Bonus Pool can be increased through allocation of residential units that are not developed. The residential units not developed will be permanently dedicated to the Density Bonus Pool via a legally recorded instrument that restricts the property from developing the dedicated units in the following circumstances:

- a. A property with a residential density entitlement transitions to a governmental, civic or institutional use, similar to the transition of the Botanical Gardens site to the Naples Botanical Gardens PUD, or
- b. A property with a residential density entitlement transitions to a commercial use, or
- c. A residential development is developed with fewer units than otherwise would be allowed per the eligible density of the underlying zoning district.

If units are allocated from the density bonus pool and then not developed, these unused units shall revert back to the density pool in compliance with section 4.02.16.C.15 of the Land Development Code.

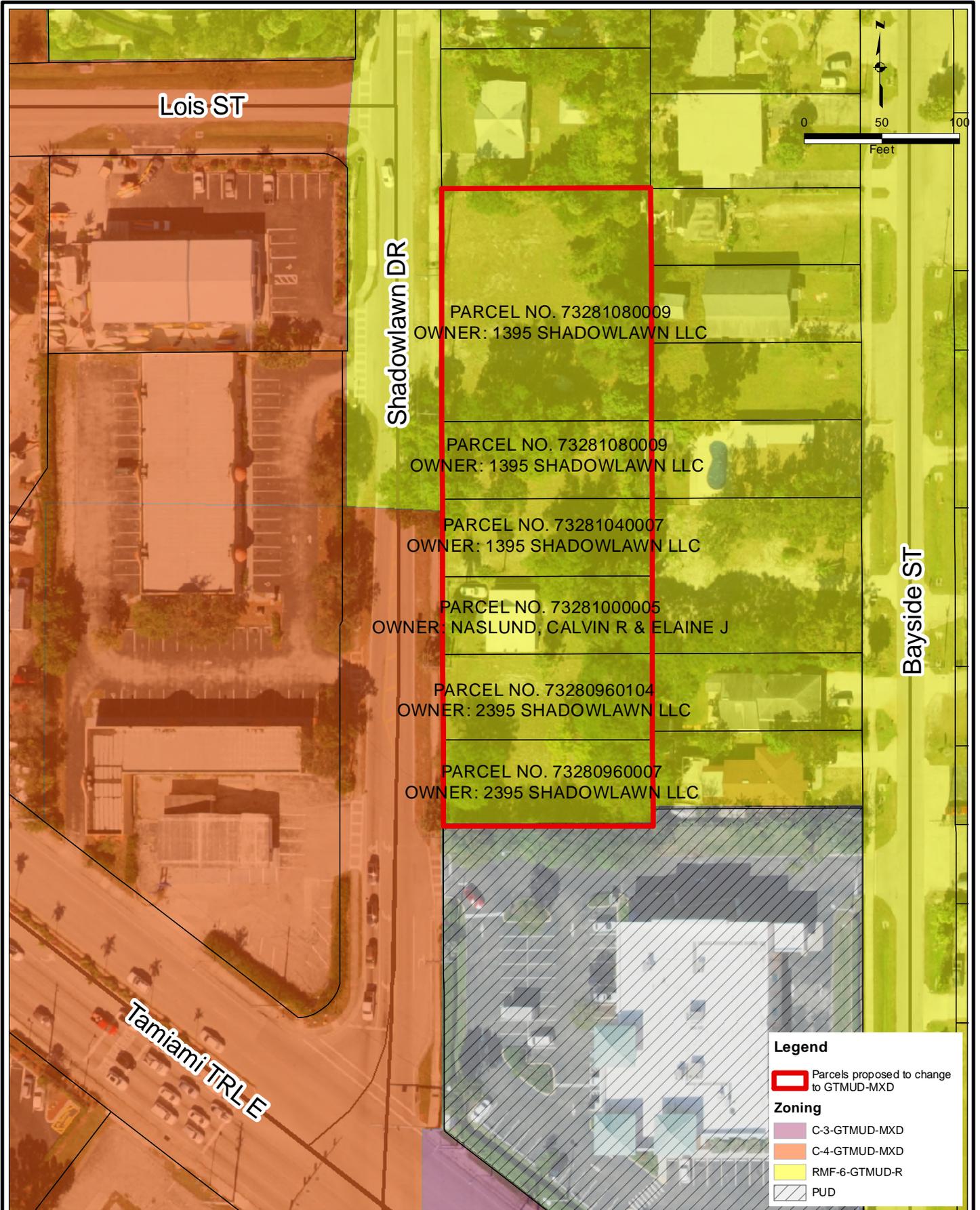
Projects within the “mini triangle” are not required to utilize this density bonus pool.

(XV)(XXXII) ~~42~~ 13. The Botanical Garden, Inc. properties located in Section 23, Township 50 South, Range 25 East, and shown on the Bayshore/Gateway Triangle Redevelopment Overlay Map, shall be limited to non-residential uses except for caretaker, dormitory, and other housing integrally related to the Botanical Garden or other institutional and/or recreational open space uses.

~~13~~14. For eligibility to utilize the density bonus pool, projects shall not be gated and shall provide public realm improvements. Public realm improvements are outlined in the Bayshore Gateway Triangle Community Redevelopment Plan (adopted by Board Resolution 2019-75) within Objective 1, 2 and 3 of Element 5.3.2 and Objective 3 of Element 5.3.5; the adopted Bayshore Gateway Triangle Community Redevelopment Agency Public Arts Plan; and County approved Stormwater Master Plans or County approved Capital Plans for projects within the BGTCRA. The qualifying public realm improvements are specified in section 4.02.16.C.14 of the Land Development Code.

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(XLVII) = Plan Amendment by Ordinance No. 2018-23 on May 8, 2018



PARCEL NO. 73281080009  
OWNER: 1395 SHADOWLAWN LLC

PARCEL NO. 73281080009  
OWNER: 1395 SHADOWLAWN LLC

PARCEL NO. 73281040007  
OWNER: 1395 SHADOWLAWN LLC

PARCEL NO. 73281000005  
OWNER: NASLUND, CALVIN R & ELAINE J

PARCEL NO. 73280960104  
OWNER: 2395 SHADOWLAWN LLC

PARCEL NO. 73280960007  
OWNER: 2395 SHADOWLAWN LLC

**Legend**

Parcels proposed to change to GTMUD-MXD

**Zoning**

- C-3-GTMUD-MXD
- C-4-GTMUD-MXD
- RMF-6-GTMUD-R
- PUD

W:\2014\20149700-241\ArcGIS\ShadowlawnParcels.mxd



JOHNSON ENGINEERING, INC.  
2122 JOHNSON STREET  
P.O. BOX 1550  
FORT MYERS, FLORIDA 33902- 1550  
PHONE (239) 334- 0046  
FAX (239) 334- 3661  
E.B. #642 & L.B. #642

Shadowlawn Dr Parcels

DATE	PROJECT	FILE NO.	SCALE	SHEET
MARCH 2020	20149700- 241		AS SHOWN	1



Bayshore Gateway Triangle CRA • Bayshore Beautification MSTU  
Haldeman Creek MSTU

Item 7b

## **Bayshore Gateway Triangle CRA Regulatory Changes to the Future Land Use Element, Land Development Code, and the Code of Laws and Ordinances**

### **Summary of Meetings and Public Comment**

On October 29, 2020, CRA Staff along with consultants from Johnson Engineering held a public forum with property owners to discuss prohibiting certain heavy commercial uses within the Gateway Triangle Mixed Use District (GTMUD) and the Bayshore Mixed Use Subdistrict (BMUD). At this meeting, several property owners from the Gateway Triangle area expressed their concerns of the prohibition of the heavy commercial uses, and the new lot size minimums for outdoor storage and display areas.

On November 12, 2020, CRA Staff along with consultants from Johnson Engineering held a CRA Advisory Board Special Meeting, pertaining to a comprehensive overview of the proposed regulatory changes for the BGTCRA.

### **Updates to Proposed Regulatory Changes**

In response to the public comment and CRA Advisory Board member discussions at the October and November special meetings, several updates have been made to the proposed regulatory changes. Those updates are as follows:

- 1. Prohibited Heavy Commercial Uses.** In response to several property owners concerns from the Gateway Triangle area, the proposed Land Development Code (LDC) Amendments no longer propose to prohibit additional heavy commercial uses within the GTMUD. However, those heavy commercial uses will be prohibited from the BMUD.
- 2. Mini- and Self-Storage Warehousing.** This use will no longer be prohibited and will not contain any restrictions beyond what is currently in place within the LDC.
- 3. Appearance Standards for Outdoor Display/Storage/Sales Areas.** Previously proposed all new uses within this category must have a minimum lot size of 40,000 sq. ft. This size limitation has now been reduced to 30,000 sq. ft. for new uses within this category. The 30,000 sq. ft. minimum lot size is based on the lot sizes and the ability to aggregate 2 or more lots to meet this standard.
- 4. Bayshore Bonus Density Pool Contribution.** Previously, there was a maximum allowed contribution from private developers to the CRA Public Realm Improvements, CRA Advisory Board recommended removing that cap. The maximum allowed contribution is no longer within the proposed LDC amendment.
- 5. Accessory Parking Zones (APZ).** Previous drafts proposed to allow the use of the APZs for a business that is up to 1,200 feet away, to satisfy parking requirements. Members of the public were concerned for that existing, developed, residential properties could potentially be



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surrounded by commercial parking lots. This change has been removed from the proposed LDC amendments, and the language will remain as it is currently written.

6. **Residential Architectural Standards.** CRA Advisory Board members expressed the proposed architectural point system that required 4-points per house, was insufficient. CRA Staff has reviewed several building permits for the various architectural elements and recommends an increase to 6-points for new houses. This change has been incorporated into the proposed LDC Amendment.
7. **Accessory Structure Location.** Members of the public expressed concern over an existing provision within the LDC that prohibited accessory structures from the front yard, or those areas forward of the principal structure (house). CRA Staff has proposed to exempt this requirement for properties where the principal structure was constructed prior to the original GTMUD/BMUD ordinance, as those properties were unaware of the standards proposed at that time, and were unable to design their structure layout to accommodate the GTMUD/BMUD design standards.

The following attachments are the documents in which CRA Staff is seeking a recommendation from the CRA Advisory Board to give direction to move the amendments forward through the process:

1. **Attachment A:**
  - a. Code of Laws and Ordinances, Section 110-30 – Enclosure of Swales. *No Changes to previously presented materials.*
  - b. LDC Section 2.03.07 – Overlay Zoning Districts. *Includes Updates*
  - c. LDC Section 4.02.16 – Design Standards for the BGTCRA. *Includes Updates*
2. **Attachment B:** Growth Management Plan Amendment (Density Bonus Pool Updates). *No changes to previously presented materials.*
3. **Attachment C:** Proposed Map Change to include additional parcels within the GTMUD-MXD. *No changes to previously presented materials*

## ITEM 8a – CRA PROJECT UPDATES – January 2020

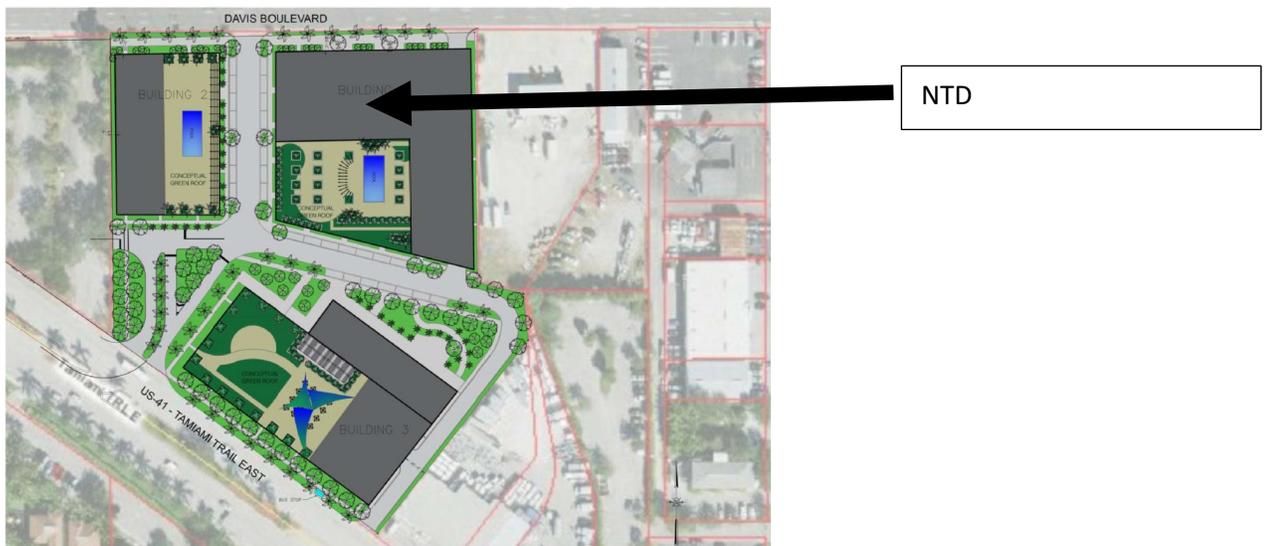
### 1. MINI-TRIANGLE

#### Gateway Mini Triangle PPL: PL20200001193

**Metropolitan Naples** - 5.27 ACRE CATALYST SITE - The closing of this site took place on November 13, 2020. Subdivision Split proposed to create three parcels with the intent to have separate Site Development Plans for each one. One parcel -totaling approximately 1.6 acres sold to Naples Triangle Development on November 13 (simultaneous closing).

Application submitted on Dec. 22 for Subdivision Construction Plans and Plat. This project proposes to create 3 separate parcels with the intent to have separate SDP's for each parcel. Drainage Easement is being processed through GMD.

#### Parcel 1 – Naples



**Naples Triangle Development (NTD)** is submitting for Site Development Plan approval to construct 240 luxury apartments. More information is provided in the Private Development Report.

**Gateway of Naples (P6NT)** – Request for incentives to BCC on January 12. See Private Development Report on update of Site Development Plan modification request. The applicant is requesting a redesign. This project includes 24 condo units, 120 hotel units, restaurant space, 204 parking spaces, and 9 stories in height.

### 2. DEL'S PROPERTY ACQUISITION

Closed on November 20, 2020. Notice to vacate by January 19, 2021 issued. Asbestos Survey scheduled – completion date Feb. 2, 2021. Demolition of warehouse and retail store will be scheduled following the completion of the survey.

### 3. PUBLIC ART PLAN – Scheduled for January 26, 2020 BCC Presentation. Final revisions completed. December draft posted on website.

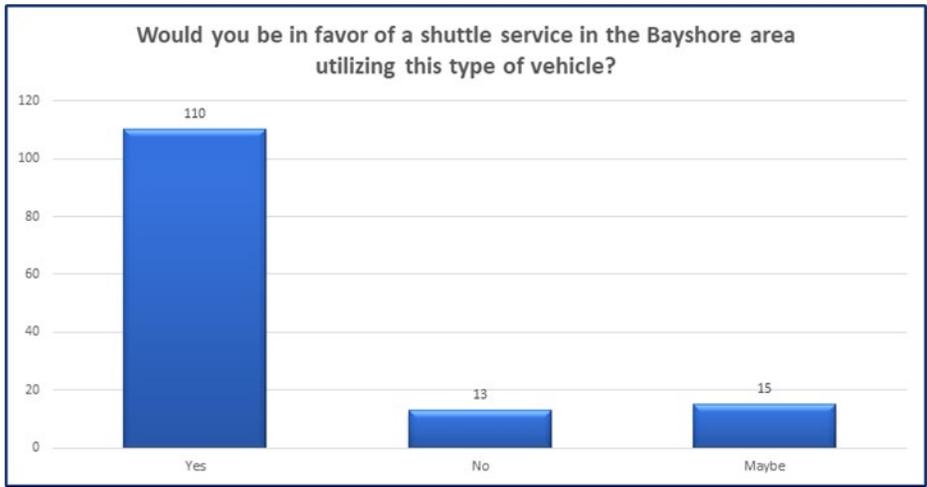
4. 17 AC BOARDWALK

Procurement Department is finalizing the proposal and will schedule for advertising. The request is for master plan of the entire 17 acres including evaluation of stormwater capacity and construction plans for Phase 1 which will include the pedestrian connection to Sugden Park. The process for selection of consultant will take several months.

5. BRANDING

Paradise Advertising and Marketing, Inc. – New contract was approved by the BCC on October 13, 2020. Final scope is developed, and Phase 1 will begin in January.

6. COASTERS/SHUTTLE SERVICE – Coasters and Posters were distributed the week of November 23 and will continue through season. Results as of December 14, 2020: 147 Responses



7. LAND USE REGULATIONS – Revision scheduled to be presented at the January 11 Advisory Board meeting. Work order has been approved to extend contract to December 31, 2021 and increase public outreach task to allow for additional input and revisions are needed.

8. US41 FDOT Safety Improvement Project - The project is scheduled to let to construction on Feb 17, 2021. Construction usually begins a couple months afterwards and there are 300 calendar days of contract time. Tentative completion Feb. 2022. 7 existing light decorative poles are called out be removed as well as the “porkchop” at the corner of Bayshore and US41.

# Item 8b



Bayshore Gateway Triangle CRA • Bayshore Beautification MSTU  
Haldeman Creek MSTU

## PROJECT UPDATES

**Tami Scott, January 11, 2021**

### **Thomasson Drive:**

Contract status as of December 16, 2020

#### **Time:**

December 16, 2020:	Day 225 of 410
Original Contract Time:	335/365
Time Extensions Weather:	3 Days
Time Extensions Holidays:	11 Days
Time Extensions Other:	31 Days (CO #2)
Allowable Contract Time:	410
Remaining Contract Days:	185
Percent Complete:	54.88%
Original Completion Date:	04/05/2021   05/05/2021
Current Adj. Completion Date:	05/20/2021   06/19/2021 Sched.
Substantial Completion Date:	05/01/2021
Sched. Final Completion Date:	06/01/2021

#### **Money:**

Original Contract Amount:	\$6,022,618.68
Approved Change Orders:	CO #01 \$5,591.16 CO #02 \$257,631.16
Current Contract Amount:	\$6,022,618.68
Amount Paid to Date (as of 11/30/20):	\$2,188,824.10
% Paid to Date:	36.34%
Next Cut-Off Date:	12/25/2020
Credit is scheduled for next pay application:	\$566,125.00(green bike Lane)

### **Fire Suppression System- Phase 3:**

Fire Suppression Phase 3 has been approved and the contract with Andrews Siteworks, LLC in the amount of \$658,560.00 has been executed. This project will commence on January 11, 2020, the contractor will start the project at the intersection of Areca Avenue and Basin Street. This project included Areca Avenue, Coco Avenue, Basin Street, Canal Street and Captains Cove.

The contract schedule requires a 150-day substantial completion and a 180-day final completion. The scope of work for this

project is limited to the replacement of the existing waterlines and installation of fire hydrants, this project does not include any stormwater enhancements or roadway improvement under the Andrewes Sitework contract. CRA staff is working with other County departments to identify what enhancement can be made in the area.

Construction Documents for this project can be found on the CRA website at [www. BayshoreCRA.com](http://www.BayshoreCRA.com)

**CRA Parking Lot:**

CRA parking lot has been approved and the contract with Fort Construction Group of Naples Inc in the amount of \$472,772.25 has been executed. This project will commence on January 14, 2021, the contract schedule requires a 150-day substantial completion and a 180-day final completion.

**Holiday Decorations / Bayshore Bridge:**

Holiday decoration and lighting wrapping up, everything should be removed by January 18<sup>th</sup> , 2021.

vandalism / theft:

Two of the hanging baskets at the pagoda were stolen  
Extension cord lighting up the menorah was stolen  
Several of the plants in the pots were stolen- pulled out

**Hamilton Avenue: Phase 2**

Barry Williams- Division Director - Parks & Recreation Michael Cherbini- Project Manager 100% Construction documents have been issues. No current update on the schedule.

**FPL- Underground Service:**

Associated with Thomasson drive project. PO has been opened and NTS sent to contractor work is underway, schedule for completion early January.

**MSTU Landscape Contract:**

Staff has completed the editing for the new Landscape contract, the contract will now include Thomasson drive, Hamilton Avenue and the community parking lot. The documents are with Collier County procurement department being processed for solicitation.

**Bayshore Drive Beautification Renovation /Access Management:**

Staff is waiting for the updated access management documents from Trebilcock Solutions, consultant is schedule for the January 2021 meetings for a presentation.

**Moorhead Manor:**

Staff has completed the draft agreement and exhibits; County Attorney's office has approved the documents. Staff is awaiting signed documents from Moorhead Manor to schedule the item on the BCC agenda.



## Item 8c

# January 2021 Private Development Update

## Zoning Petitions

### Brookside Marina, CPUD Rezone: PL20190001540

Location: 2015 and 2025 Davis Blvd.

Status: First GMD Review Letter sent out on 8/24/2020. Pending resubmittal from applicant.

The applicant is rezoning this property to a Commercial PUD in order to restore wet slips in the western basin and allow for recreational boat rental operations (Freedom Boat Club). Generally, the CPUD is proposing 3 tracts, with permitted uses that range from marina, rental boat operations, wet slips and associated uses. This site qualifies for 311 wet and dry slips, due to their 'preferred' ranking under the County's Manatee Protection Plan.



### Camden Landing, PUDA and GMPA: PL20190001364 and PL20190001387

Location: 2801 Thomasson Drive, Folio 61840560008

Status: CCPC Hearing scheduled for January 21

Proposed amendment to the Cirrus Point PUD to rename to Camden Landing to allow 127 multi-family dwelling units, utilizing 97 units from the Bayshore Density Pool. This project is proposing market rate housing, with development standards allowing 4 stories above parking.

This project is also seeking a GMPA to receive the 97-density bonus unit as it currently does not meet the GMPA criteria without an amendment.

### Sabal Bay PUD Rezone: PL20190002305

Location: South Bayshore Drive

Status: BCC Hearing scheduled for January 12. CCPC hearing was held on 11-19-2020.

This PUD is expanding the boundaries to add 102 acres and 230 additional residential units.



### Naples Boat Yard PUD Rezone: PL2020000007

Location: 2775 Bayview Drive

Status: Pre-Application Meeting held on 1-22-2020; no applications have been submitted at this time.

This rezone requests to allow commercial uses in the single-family home district and the vacant lot located next to it. No additional information at this time.

### Bayshore Food Wine Venue Alcohol Beverage Distance Waiver: PL20200001934

Location: NE Area of Bayshore Drive and Becca (Folio 71580240005, and 71580220009)

Status: Under second review.

The request for a waiver of the 500-foot separation between establishments whose primary function is the sale of alcoholic beverages for consumption on-site, to allow for a 100.3-foot separation between the Celebration Food Truck park and the Bayshore Wine and Food Venue.

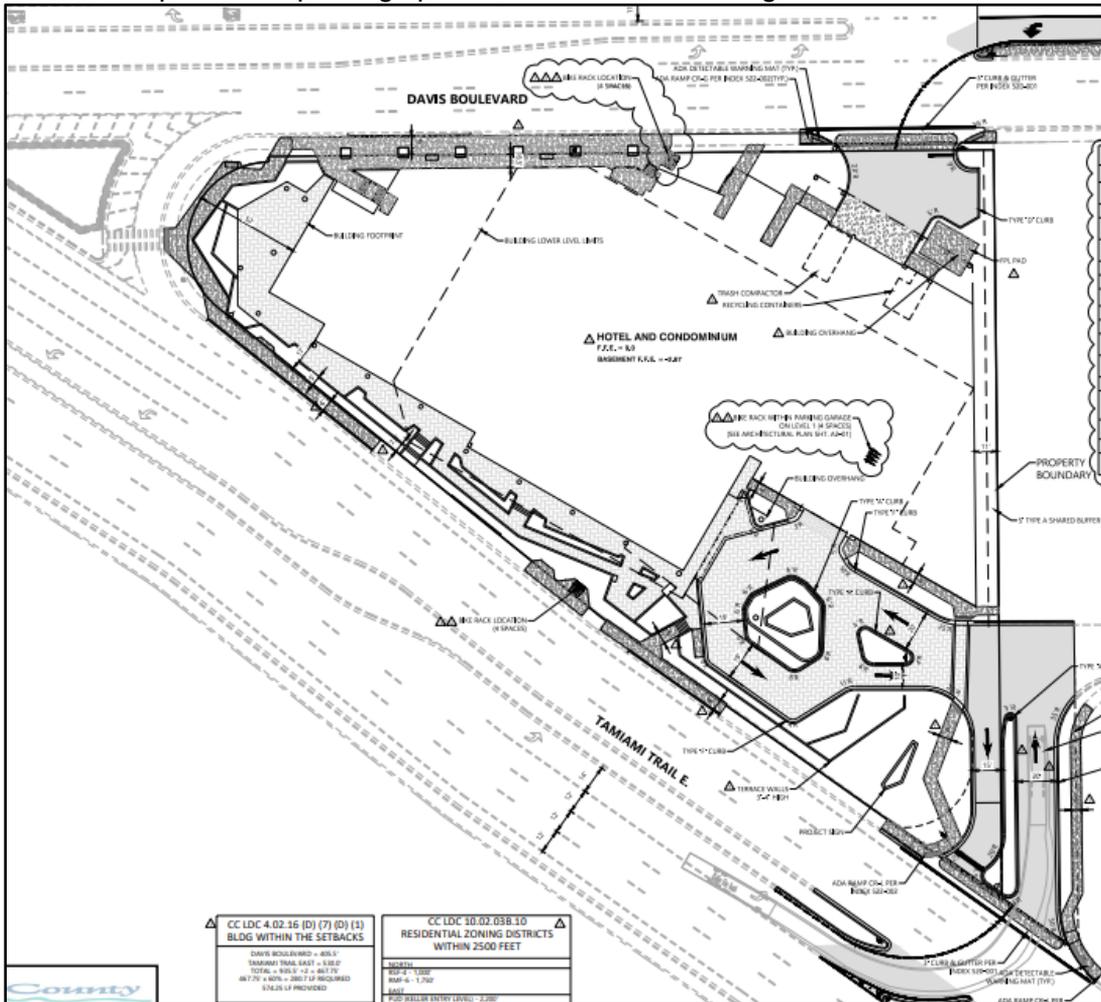
## Development Review Petitions

### Gateway of Naples SDPA: PL20200000526

Location: Corner of Davis Blvd and US41 (Folio 00386880009 and 00386840007)

Status: Approved on 12-23-2020

This site has a previously approved Site Development Plan. The applicant is requesting a redesign. This project includes 24 condo units, 120 hotel units, restaurant space, 204 parking spaces, and 9 stories in height.



### Metropolitan Naples - Lot 1 SDP:

Location: 1420 Brookside Dr.

Status: Pre-Application Meeting held on 12-08-2020

This project proposes a 16-story mixed-use structure, with 270 residential units, 7,574 square feet of retail. Maximum height of this structure will not exceed 168 feet. Currently, this lot and the surrounding lots will be reconfigured through a subdivision plats and plans (PPL) that is currently under review. An application has not been submitted at this time.

**Metropolitan Naples PPL: PL20200001193**

Location: Mini-triangle parcels 2054 Davis Blvd.

Status: Application submitted for review on 12-22-2020.

This project proposes to create 3 separate parcels with the intent to have separate SDP's for each parcel.

**WSA Bayshore Boutique Hotel SDP: PL20200001971**

Location: SE of Bayshore Drive and Lunar St (Folio 5335336000, 53353320002, and 53353400003)

Status: Pre-Application Meeting held on 10-20-2020. Plans have not been submitted for review

This project proposes a two-story commercial building. The first floor will consist of retail commercial. The second floor will contain a 5-bedroom boutique hotel room.



**Manitoba Subdivision PPL: PL20200002436**

Location: 4750 Pine St.

Status: Pre-Application Meeting held on 12-16-2020

This project is for a subdivision plats and plans to divide a 1.94-acre lot into 9 individual lots for single-family homes. An application has not been submitted at this time.

**Oakes Farms Parking Lot SDP: PL20170004242**

Location: 1420 Brookside Dr.

Status: Under Construction

This SDP is for a 96-parking space, 39,000 square foot parking lot with associated stormwater, landscaping and irrigation. Anticipated completion of April 2021



**Bayshore Food Wine Venue SDP: PL20190002611**

Location: NE Area of Bayshore Drive and Becca (Folio 71580240005, and 71580220009)

Status: Pending Resubmittal. Last review letter went out on 12-23-2020

Proposed 9,350 sq. ft. retail/office/restaurant/warehouse on vacant land. This project is currently seeking to remedy potential turn lane requirements prior to continuing SDP review.

**Courthouse Shadows SDPA: PL20200000554**

Location: 3290 Tamiami Trail East, Folio 28750000028

Status: Utility Relocation Approved and work has commenced.

**Courthouse Shadows SDPA: PL20190002368**

Location: 3290 and 3420 Tamiami Trail East, Folio 28750000028; 28750000523; 28750000769

Status: Review Comment letter issued on 12-28-2020. Pending resubmittal from applicants.

This SDPA is for proposed development of 300 units of a multi-family residential community. There will be 5 residential buildings, a clubhouse, detached garages, trash compactor building, maintenance building, a pool amenity area, and an outdoor covered lounge.

**Things I like by Catherine LLC SIP: PL20190002153**

Location: 3954 Bayshore Drive

Status: SIP has been approved, CBIG approved, and pending final building permit approvals.

Redevelopment of existing residential structure into a commercial art gallery.

**Naples Botanical Garden Horticultural Campus SDP: PL20190002586**

Location: 4820 Bayshore Drive

Status: Pre-application meeting held on 12-18-2019. Plans have not yet been submitted for review.

The purpose of this application is to modify and expand the previously permitted grow house and recycle center to include the new horticultural center. The horticultural center will include several new various grow/green houses, office building and maintenance shop.

**Fifth Third Bank SDPA: PL20190001097**

Location: 2898 Tamiami Trail East

Status: Approved on 12-22-2020

New Fifth Third Bank at the corner of Tamiami Trail and Bayshore Blvd



**Doggy Day Care & Storage Units SDP and APR: PL20200000020 and PL20200001991**

Location: 2435 Pine Street

Status: SDP Approved on 12-15-2020. APR approved on 10-28-2020

This project proposes approximately 7,156 square feet of a dog daycare facility, and a private storage building of approximately 7,852 square feet. The APR requests the reduction of 2 required parking spaces.

**Sunbelt Rentals SDP: PL20200000188**

Location: 2560 Davis Blvd.

Status: Approved and construction to commence

Sunbelt Rentals is currently leasing three properties along Davis Boulevard. They are looking to construct a new building on the far east parcel, leave the existing business operational, receive a temporary CO on the new building and complete the site by demolishing the existing building and constructing a new parking and storage area.

**Trail Professional Center SDP: PL20200001177**

Location: 3080 Tamiami Trail East

Status: Review comment letter issued on 11-17-2020. Pending resubmittal from applicants.

This project proposes to demolish the existing structure and replace with a new 3-story office building.

**Compass Place SDP: PL20180003671**

Location: 3010-3050 Thomasson Drive

Status: Under construction

This project consists of two 15,788 square feet, 10-unit, multi-family structures.

**Nick's Restaurant and Houka Lounge: PRBD 20200206652**

Location: 3091 Tamiami Trail East (Corner of US41 and Andrew Dr.)

Status: Ready for issuance.

This project proposes a restaurant and houka lounge with mainly outdoor dining. The existing building will be renovated to increase the square footage under air and will include an open-air addition.

**Item 8d**

**12/30/2020**

**Maintenance Report**

Locations	Activity	Description/Issues	Date	Results	Status	completion date
17 acres Site	Received code complaints for exotics removal	enormous amount of exotics behind Jeepers drive residents	11/15/2020	received quotes for exotic removal	Contractor began removal of exotics and debris	
17 acres Site	Received complaints on homeless camp	An enormous amount of garbage and tree limbs to hide under	12/6/2020	included the debris clean up on exotics quote	Contractor working on clean up	
Light Pole #60 broke due to accident	reported to insurance and SS to repair	Light pole broke in 3 places had to install new pole	10/28/2020	Made an insurance claim with no police report	Waiting for reimbursement after payment to contractor	

Item 8e

Fund 187 Bayshore/Gateway Triangle

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendments	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI								
*** 187 BAYSHORE/GATEWAY TR						790,508.40	4,794,970.96-	4,004,462.56
** REVENUE Sub Total	9,111,900.00-	9,111,900.00-	621,999.00-		9,733,899.00-		8,888,262.28-	845,636.72-
* REVENUE - OPERATING Su	6,437,900.00-	6,437,900.00-			6,437,900.00-		6,465,662.28-	27,762.28
361170 OVERNIGHT INT							872.55-	872.55
361180 INVESTMENT IN	40,000.00-	40,000.00-			40,000.00-		2,600.81-	37,399.19-
362190 LEASE FACILITIES							3,004.70-	3,004.70
364220 SURPLUS LAND	6,397,900.00-	6,397,900.00-			6,397,900.00-		6,459,184.22-	61,284.22
* CONTRIBUTION AND TRANS	2,674,000.00-	2,674,000.00-	621,999.00-		3,295,999.00-		2,422,600.00-	873,399.00-
481001 TRANS FRM 001	1,915,000.00-	1,915,000.00-			1,915,000.00-		1,915,000.00-	
481111 TRANS FRM 111	433,500.00-	433,500.00-			433,500.00-		433,500.00-	
481163 TRANS FRM 163	125,500.00-	125,500.00-			125,500.00-			125,500.00-
481164 TRANS FRM 164	11,300.00-	11,300.00-			11,300.00-			11,300.00-
481186 TRANS FRM 186	74,100.00-	74,100.00-			74,100.00-		74,100.00-	
489200 CARRY FORWARD	436,500.00-	436,500.00-			436,500.00-			436,500.00-
489201 CARRY FORWARD			621,999.00-		621,999.00-			621,999.00-
489900 NEG 5% EST RE	321,900.00	321,900.00			321,900.00			321,900.00
** EXPENSE Sub Total	9,111,900.00	9,111,900.00	621,999.00		9,733,899.00	790,508.40	4,093,291.32	4,850,099.28
* PERSONAL SERVICE	446,200.00	446,200.00			446,200.00	43,884.75	83,789.96	318,525.29
* OPERATING EXPENSE	406,400.00	406,400.00	21,999.00		428,399.00	146,623.65	84,201.36	197,573.99
631400 ENG FEES	50,000.00	50,000.00			50,000.00	22,278.12		27,721.88
631600 APPRAISAL FEE	7,500.00	7,500.00			7,500.00			7,500.00
634207 IT CAP ALLOCA	2,400.00	2,400.00			2,400.00	1,800.00	600.00	
634210 IT OFFICE AUT	13,300.00	13,300.00			13,300.00	9,975.00	3,325.00	
634970 INDIRECT COST	60,500.00	60,500.00			60,500.00	30,250.00	30,250.00	
634980 INTERDEPT PAY	6,000.00	6,000.00			6,000.00		1,299.00	4,701.00
634999 OTHER CONTRAC	207,100.00	207,100.00	21,999.00		229,099.00	57,080.56	38,391.72	133,626.72
640300 TRAVEL PROF D	6,000.00	6,000.00			6,000.00			6,000.00
641230 TELEPHONE ACC	1,800.00	1,800.00			1,800.00			1,800.00
641700 CELLULAR TELE	1,300.00	1,300.00			1,300.00		306.96	993.04

641900 TELEPHONE SYS						2.14	2.14-
641950 POST FREIGHT	1,000.00	1,000.00		1,000.00		127.70	872.30
641952 FREIGHT						40.18	40.18-
643100 ELECTRICITY					1,256.66	143.34	1,400.00-
643400 WATER AND SEW					5,200.00		5,200.00-
644620 LEASE EQUIPME	2,000.00	2,000.00		2,000.00	2,752.31	944.53	1,696.84-
645100 INSURANCE GEN	3,300.00	3,300.00		3,300.00	2,475.00	825.00	
645260 AUTO INSURANC	500.00	500.00		500.00	375.00	125.00	
646180 BUILDING RM I						45.38	45.38-
646360 MAINT OF GROU					11,750.00	3,250.00	15,000.00-
646430 FLEET MAINT I	200.00	200.00		200.00		32.00	168.00
646445 FLEET NON MAI	300.00	300.00		300.00			300.00
647110 PRINTING AND	5,000.00	5,000.00		5,000.00		1,250.00	3,750.00
648170 MARKETING AND	5,000.00	5,000.00		5,000.00		150.00	4,850.00
649030 CLERKS RECORD						18.50	18.50-
649100 LEGAL ADVERTI	4,500.00	4,500.00		4,500.00	1,334.00	166.00	3,000.00
651110 OFFICE SUPPLI	3,000.00	3,000.00		3,000.00		132.33	2,867.67
651210 COPYING CHARG	7,000.00	7,000.00		7,000.00			7,000.00
651910 MINOR OFFICE E	1,500.00	1,500.00		1,500.00			1,500.00
651930 MINOR OFFICE F	1,500.00	1,500.00		1,500.00			1,500.00
651950 MINOR DATA PR	1,000.00	1,000.00		1,000.00			1,000.00
652210 FOOD OPERATIN	1,000.00	1,000.00		1,000.00			1,000.00
652490 FUEL AND LUB	200.00	200.00		200.00		58.55	141.45
652920 COMPUTER SOFT	3,000.00	3,000.00		3,000.00			3,000.00
652990 OTHER OPERATI	2,000.00	2,000.00		2,000.00	97.00	358.03	1,544.97
654110 BOOKS PUB SUB	500.00	500.00		500.00			500.00
654210 DUES AND MEMB	4,000.00	4,000.00		4,000.00		2,360.00	1,640.00
654360 OTHER TRAININ	4,000.00	4,000.00		4,000.00			4,000.00
* CAPITAL OUTLAY	1,500.00	1,500.00	600,000.00	601,500.00	600,000.00		1,500.00
763100 IMPROVEMENTS			600,000.00	600,000.00	600,000.00		
764900 DATA PROCESSI	1,500.00	1,500.00		1,500.00			1,500.00
* TRANSFERS	7,207,300.00	7,207,300.00		7,207,300.00		3,925,300.00	3,282,000.00
910010 TRANS TO 001	53,800.00	53,800.00		53,800.00		53,800.00	
912870 TRANS TO 287	3,253,000.00	3,253,000.00		3,253,000.00		3,071,500.00	181,500.00

917870 TRANS TO 787	3,200,000.00	3,200,000.00			3,200,000.00		800,000.00	2,400,000.00
921600 ADV/REPAY TO	700,500.00	700,500.00			700,500.00			700,500.00
<b>* RESERVES</b>	<b>1,050,500.00</b>	<b>1,050,500.00</b>			<b>1,050,500.00</b>			<b>1,050,500.00</b>
991000 RESV FOR CONT	85,000.00	85,000.00			85,000.00			85,000.00
993000 RESV FOR CAPI	965,500.00	965,500.00			965,500.00			965,500.00

### Fund 787 Bayshore CRA Projects

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendments	Tot Amend Budget	Commitment	Actual	Available
<b>**** Grand Total-Fund/ CI</b>								
<b>*** 787 BAYSHORE CRA PROJEC</b>						<b>479,310.25</b>	<b>1,366,947.12</b>	<b>1,846,257.37-</b>
<b>** REVENUE Sub Total</b>	<b>3,200,000.00-</b>	<b>3,200,000.00-</b>	<b>2,998,515.53-</b>		<b>6,198,515.53-</b>		<b>801,073.38-</b>	<b>5,397,442.15-</b>
<b>* REVENUE - OPERATING Su</b>							<b>1,073.38-</b>	<b>1,073.38</b>
361170 OVERNIGHT INT							773.51-	773.51
361180 INVESTMENT IN							299.87-	299.87
<b>* CONTRIBUTION AND TRANS</b>	<b>3,200,000.00-</b>	<b>3,200,000.00-</b>	<b>2,998,515.53-</b>		<b>6,198,515.53-</b>		<b>800,000.00-</b>	<b>5,398,515.53-</b>
481187 TRANS FRM 187	3,200,000.00-	3,200,000.00-			3,200,000.00-		800,000.00-	2,400,000.00-
489201 CARRY FORWARD			2,998,515.53-		2,998,515.53-			2,998,515.53-
<b>** EXPENSE Sub Total</b>	<b>3,200,000.00</b>	<b>3,200,000.00</b>	<b>2,998,515.53</b>		<b>6,198,515.53</b>	<b>479,310.25</b>	<b>2,168,020.50</b>	<b>3,551,184.78</b>
<b>* OPERATING EXPENSE</b>	<b>100,000.00</b>	<b>100,000.00</b>	<b>133,400.00</b>	<b>200.00</b>	<b>233,600.00</b>	<b>6,538.00</b>		<b>227,062.00</b>
631650 ABSTRACT FEES			7,600.00		7,600.00			7,600.00
631800 ENVIRONMENTAL			25,000.00		25,000.00			25,000.00
634999 OTHER CONTRAC			100,000.00		100,000.00			100,000.00
639990 OTHER CONTRAC	100,000.00	100,000.00			100,000.00	6,538.00		93,462.00
649030 CLERKS RECORD			800.00	200.00	1,000.00			1,000.00
<b>* CAPITAL OUTLAY</b>	<b>1,400,000.00</b>	<b>1,400,000.00</b>	<b>2,618,000.00</b>		<b>4,018,000.00</b>	<b>472,772.25</b>	<b>2,118,020.50</b>	<b>1,427,207.25</b>
761100 LAND CAPITAL			2,118,000.00		2,118,000.00		2,118,020.50	20.50-
763100 IMPROVEMENTS	1,400,000.00	1,400,000.00	500,000.00		1,900,000.00	472,772.25		1,427,227.75
<b>* GRANTS AND DEBT SERVIC</b>	<b>200,000.00</b>	<b>200,000.00</b>	<b>247,115.53</b>	<b>200.00-</b>	<b>446,915.53</b>		<b>50,000.00</b>	<b>396,915.53</b>
884200 RESIDENTIAL R	200,000.00	200,000.00	247,115.53	200.00-	446,915.53		50,000.00	396,915.53
<b>* RESERVES</b>	<b>1,500,000.00</b>	<b>1,500,000.00</b>			<b>1,500,000.00</b>			<b>1,500,000.00</b>
993000 RESV FOR CAPI	1,500,000.00	1,500,000.00			1,500,000.00			1,500,000.00

### Fund 787 Project 50197 Residential Grants

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendment	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI								
*** 50197 BAYSHORE CRA PROJEC	100,000.00	100,000.00	77,327.00		177,327.00			177,327.00
** EXPENSE Sub Total	100,000.00	100,000.00	77,327.00		177,327.00			177,327.00
* OPERATING EXPENSE			173.00-	173.00				
649030 CLERKS RECORD			173.00-	173.00				
* GRANTS AND DEBT SERVIC	100,000.00	100,000.00	77,500.00	173.00-	177,327.00			177,327.00
884200 RESIDENTIAL R	100,000.00	100,000.00	77,500.00	173.00-	177,327.00			177,327.00

### Fund 787 Project 50198 Commercial Grants

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendment	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI								
*** 50198 BAYSHORE CRA PROJEC	100,000.00	100,000.00	169,588.53		269,588.43		50,000.00	219,588.53
** EXPENSE Sub Total	100,000.00	100,000.00	169,588.53		269,588.43		50,000.00	219,588.53
* OPERATING EXPENSE			27.00-	27.00				
649030 CLERKS RECORD			27.00-	27.00				
* GRANTS AND DEBT SERVIC	100,000.00	100,000.00	169,615.53	27.00-	269,588.43		50,000.00	219,588.53
884200 RESIDENTIAL R	100,000.00	100,000.00	169,615.53	27.00-	269,588.43		50,000.00	219,588.53

### Fund 787 Project 50203 Stormwater

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI						
*** 50203 BAYSHORE CRA PROJEC	550,000.00	550,000.00	550,000.00			550,000.00
** EXPENSE Sub Total	550,000.00	550,000.00	550,000.00			550,000.00
* CAPITAL OUTLAY	550,000.00	550,000.00	550,000.00			550,000.00
763100 IMPROVEMENTS	550,000.00	550,000.00	550,000.00			550,000.00

### Fund 787 Project 50204 Linwood

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI						
*** 50204 BAYSHORE CRA PROJEC	100,000.00	100,000.00	100,000.00			100,000.00
** EXPENSE Sub Total	100,000.00	100,000.00	100,000.00			100,000.00
* CAPITAL OUTLAY	100,000.00	100,000.00	100,000.00			100,000.00
763100 IMPROVEMENTS	100,000.00	100,000.00	100,000.00			100,000.00

### Fund 787 Project 50206 Ackerman-Dells

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI							
*** 50206 BAYSHORE CRA PROJEC	600,000.00	600,000.00	2,151,600.00	2,751,600.00	6,538.00	2,118,020.50	627,041.50
** EXPENSE Sub Total	600,000.00	600,000.00	2,151,600.00	2,751,600.00	6,538.00	2,118,020.50	627,041.50
* OPERATING EXPENSE	100,000.00	100,000.00	33,600.00	133,600.00	6,538.00		127,062.00
631650 ABSTRACT FEES			7,600.00	7,600.00			7,600.00
631800 ENVIRONMENTAL			25,000.00	25,000.00			25,000.00
639990 OTHER CONTRAC	100,000.00	100,000.00		100,000.00	6,538.00		93,462.00
649030 CLERKS RECORD			1,000.00	1,000.00			1,000.00
* CAPITAL OUTLAY	500,000.00	500,000.00	2,118,000.00	2,618,000.00		2,118,020.50	499,979.50
761100 LAND CAPITAL			2,118,000.00	2,118,000.00		2,118,020.50	20.50-
763100 IMPROVEMENTS	500,000.00	500,000.00		500,000.00			500,000.00

### Fund 787 Project 50207 Bayshore Parking Lot

Fund / Comm Item	BCC Adopt Budget	CarryF Amendme	Amendment	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI							
*** 50207 BAYSHORE CRA PROJEC		500,000.00		500,000.00	472,772.25		27,227.75
** EXPENSE Sub Total		500,000.00		500,000.00	472,772.25		27,227.75
* CAPITAL OUTLAY		500,000.00		500,000.00	472,772.25		27,227.75

763100 IMPROVEMENTS		500,000.00		500,000.00	472,772.25		27,227.75
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**Fund 787 Project 50208 17 Acre Site**

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/ CI							
*** 50208 BAYSHORE CRA PROJEC	250,000.00	250,000.00	100,000.00	350,000.00			350,000.00
** EXPENSE Sub Total	250,000.00	250,000.00	100,000.00	350,000.00			350,000.00
* OPERATING EXPENSE			100,000.00	100,000.00			100,000.00
639999 OTHER CONTRAC			100,000.00	100,000.00			100,000.00
* CAPITAL OUTLAY	250,000.00	250,000.00		250,000.00			250,000.00
763100 IMPROVEMENTS	250,000.00	250,000.00		250,000.00			250,000.00

**Bayshore CRA**  
January 2020

Item 9b

Case Number	Case Type	Description	Date Entered	Location Description	Detailed Description
CEROW20200012794	ROW	Closed	11/30/2020	2700 Gulfview Dr	Com Cast wire hanging in the street- in the Right of Way- causing garbage trucks not to go down their street all the way to pick up garbage and this being the 2nd week of no garbage pick due to this wire in the way.
CEOCC20200012811	OCC	Closed	11/30/2020	4609 Bayshore Dr #N8 - ABACO BAY CONDOMINIUM BLDG	Running a sewing business from condo unit. Noises from sewing machines & fabric cutting machines can be heard. Caller says its very loud. The association plans on taking action but told caller to call us as well.
CENA20200012812	NA	Closed	11/30/2020	Bayshore & Gulfview	Junk Cars snipe sign on a utility pole in the ROW
CENA20200012874	NA	Closed	12/02/2020	3385 BAYSHORE DR	Garbage and debris accumulating in the back of the mixed use property on Bayshore & Coco
CENA20200012907	NA	Closed	12/02/2020	Bayshore & Becca	Abandoned shopping cart in the ROW
CEPM20200012911	PM	Closed	12/02/2020	REAR OF 280 LANCHESTER	Business along property line have been let to grow tall and block safe vision of the roadway Effecting vision of the Palm street and Marlin Drive intersection. Cars turning into NLYH do not have a safe view of the approaching cars on Marlin Drive.
CEA20200012951	A	Closed	12/03/2020	3156 and 3164 Van Buren Ave 3156 Van Buren Ave. has new case number -	chickens and roosters running all around
CESD20200012952	SD	Open	12/03/2020	3156 and 3164 Van Buren ave.	working on mobile homes without permits. working very last at night disturbing community
CESD20200013020	SD	Open	12/07/2020	Alleged Violator Address is Windstar - Regatta	House next store to him has been built up and is flooding his backyard.
CENA20200013040	NA	Closed	12/07/2020	Bayshore across from Moorhead Manor & South of the Fire Station on Bayshore	Multiple abandoned shopping carts in the ROW
CENA20200013089	NA	Closed	12/08/2020	Near 3092 Coco	2 - 5 gallon paint containers in the ROW
CEV20200013091	V	Closed	12/08/2020	3073 COCO AVE	Trailer parked on front driveway.
CEROW20200013105	ROW	Closed	12/08/2020	2734 Arbutus Street residence	Dark green rusty chevy SUV Vehicle parked on the road with windows open and people sleeping in it
CENA20200013148	NA	Closed	12/09/2020	Bayshore Drive between Gulfgate Plaza & Weeks	Multiple (5) abandoned shopping carts in the ROW
CEAU20200013185	AU	Closed	12/10/2020	3367 CANAL ST	Fencebeing constructed on vacant residential property without permits.
CELU20200013216	LU	Open	12/10/2020	Vacant lot on east side of Bayshore Drive across from Weeks Ave -	Homeless camp on vacant land.
CELU20200013218	LU	Open	12/10/2020	Vacant lot on east side of Bayshore Drive across from Becca Ave -	Homeless camp on vacant land.
CENA20200013236	NA	Closed	12/11/2020	3470 BAYSHORE DR	Marina has high grass & trash on the property along Riverview Dr

## Bayshore CRA

January 2020

CENA20200013264	NA	Closed	12/11/2020	Barrett & Bayshore	Abandoned shopping cart in the ROW
CEROW20200013421	ROW	Open	12/15/2020	3399 CANAL ST	Concrete driveway apron expansion through the ROW without a permit.
CENA20200013450	NA	Closed	12/16/2020	Bayshore & Bayview intersection.	Abandoned shopping cart in the ROW
CELU20200013496	LU	Closed	12/16/2020	3467 BAYSHORE DR	Mattress and boxspring left on vacant lot
CESS20200013569	SS	Closed	12/18/2020	Intersection of Bayshore & US 41	2 Snipes signs - Naples Furniture & Mattress - in the ROW
CES20200013609	S	Open	12/21/2020	2880 Becca Ave "Celebration Park"	Food Truck has an "A Frame" sign on easement 24/7, never removes it even if its closed
CES20200013611	S	Open	12/21/2020	3248 Bayshore Dr "The Gardenia"	Bean to Cup has an "A Frame" on the sidewalk and never removes it