



Bayshore Gateway Triangle CRA • Bayshore Beautification MSTU
Haldeman Creek MSTU

Haldeman Creek MSTU Advisory Committee Meeting

AGENDA

March 6, 2023

3:30 PM

3299 Tamiami Trail E 3rd Floor BCC Chambers, Naples, Florida 34112

Chairman Roy Wilson- Vice Chair Robert Wopperer

Jacob Dutry van Haeften, James King, Bill Robbins

1. **Call to order and Roll Call**
2. **Pledge of Allegiance**
3. **Adoption of Agenda**
4. **Approval of Minutes**
 - a. February 6, 2023 Minutes (Attachment 1)
5. **Community / Business – Presentations**
6. **Old Business**
 - a. Courthouse Shadows – Blake Bayse, Johnson Development Assoc, Inc
Attachment (**Action Item**) (Attachment 2)
 - b. Viage Marina – (Attachment 3) – Presentation at March 8 BGTCRA Meeting
7. **New Business**
 - a. 2865 Riverview Drive Boat Dock (Attachment 4)
8. **Staff Report**
 - a. Priority Project Report – (Attachment 5)
 - b. Financials- (Attachment 6)
9. **Correspondence and Communication**
 - a. Commissioner Kowal Town Hall Meeting (Attachment 7)
10. **Public Comment**
11. **Staff Comments:**
12. **Advisory Board General Communications**
13. **Next meeting date:**
 - a. BCC/CRA/MSTU Workshop TBD
14. **Adjournment**



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Bayshore Gateway Triangle CRA • Bayshore Beautification MSTU
Haldeman Creek MSTU

February 6, 2023 meeting minutes

Attachment 1 - Item 4a

HALDEMAN CREEK MSTU MINUTES OF THE FEBRUARY 6, 2023 MEETING

The meeting of the Haldeman Creek MSTU Advisory Committee was called to order by Roy Wilson at 3:30 p.m. at 3299 Tamiami Trail E, 3rd Floor BCC Chambers, Naples, FL 34112.

- I. **Roll Call:** Advisory Board Members Present: Chair, Roy Wilson, Robert Wopperer, Jim King and Jacob Dutry van Haeften. Bill Robbins had an excused absence.

MSTU Staff Present: Debrah Forester, CRA Director, and Shirley Garcia, Operations Support.

- II. **Pledge of Allegiance-** Was led by Roy Wilson

- III. **Adoption of Agenda:** Jim King made a motion to approve the agenda as written, second by Robert Wopperer. Approved unanimously.

- IV. **Adoption of Minutes:** Jim King made a motion to approve the minutes as written, second by Jaap Dutry van Haeften. Approved unanimously.

- V. **Community / Business – Presentations**

- VI. **Old Business:**

- VII. **New Business:**

a. **Haldeman Creek Water Quality Monitoring, Pollution Control**

Danette Kinaszczuk, Manager - Ms. Kinaszczuk noted water quality in Collier County and the water quality specific to Haldeman Creek, she introduced fellow staff member Rhonda Watkins, who is an expert on the specifics of water quality. Ms. Kinaszczuk presented a PowerPoint on Water Quality with specific information on Haldeman Creek which included information pre and post Hurricane Ian. For more information visit www.LiveGreenSaveBlue.com The information provided was focused on preventable measures community members could do to assist the water quality. The educational materials on herbicides, pesticides and fertilizer usage is a great tool to hand out to their landscapers and property owners who would like to contribute to lowering the nitrogen, copper and other pollutants within the waterways. Ms. Forester noted staff will put the links and information on the CRA's website at www.bayshorecra.com. Board members noted their concern regarding some people



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fishing and swimming in the creek. The committee asked if they should put up signs for no swimming and no fishing. Ms. Kinaszczuk doesn't recommend because some days may be good and some days may not be so good and they cannot regulate the creek enough to support posting no swimming or fishing due to pollutants. Following the presentation, Ms. Forester asked if there may be a future opportunity to partner with her department to conduct a study to determine the source of the copper pollutants coming into the creek. Ms. Forester noted the pilot project to use organic material instead of fertilizer in the area. Ms. Kinaszczuk noted she has been involved with early discussion regarding the study. Staff will follow-up on these topics.

- b. **Draft Goals/Priorities** – Ms. Forester noted the goals and priorities attached. Members will review and provide any comments to staff.
- c. **Advisory Committee Vacancy** – Committee reviewed Jim Kings application and request to be reappointed to the committee. After some discussion there was a motion made by Roy Wilson to recommend to the Board of County Commissioners Mr. Kings appointment, second by Jaap Dutry van Haeften and passed unanimously.

VIII. Staff Report:

- a. **Priority Project Report**- Ms. Forester provided the new priority project report format and asked if anyone had any questions. No questions.
- b. **Financials**- Ms. Forester provided the financial report if anyone had any questions. No questions.

IX. Correspondence and Communications:

- a. **SFWMD Proposed Rules for Rule 40E-7, Florida Administrative Code** – Ms. Forester attached the proposed rule provided by Mr. King. Mr. Jim King will keep the committee informed as it progresses through the process. It is unclear at this time if Haldeman Creek would be included and if the bill would move forward.

X. Public Comments: None

- XI. **Staff Comments:** Ms. Forester reviewed an email from Richard Orth, Stormwater division, regarding a proposed to the Courthouse Shadows multi-family development regarding the installation of a dock with access to Haldeman Creek. Mr. Wilson asked for a set of plans and if they could attend a meeting because they have some questions. Ms. Forester will reach out to the planner and ask if they would attend the next meeting. Ms. Forester reached out to Humiston and Moore regarding the dredge permit renewal and she keep the committee informed.

- XII. **Advisory Committee Comments:** Mr. Wopperer asked about the missing channel marker and is concerned because it could be a hazard, staff did report it to Coastal Zone Management. Ms. Forester will reach out to Chris D'arco as a follow up. Mr. Wilson



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asked for an update via email if staff receives an update prior to their next meeting.

XIII. Next Meeting Date:

a. TBD

XIV. Adjournment: 4:55 pm

Approved by: Roy Wilson, Chairman



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Haldeman Creek MSTU

Attachment2-Item 6a

Haldeman Creek MSTU – **Item 6a**

March 6, 2023

TO: Haldeman Creek MSTU Advisory Committee

SUBJECT: Courthouse Shadows Project Update

Rich,

Attached are the plans for the kayak and paddleboard launch that we are proposing. We are looking to build a boardwalk through the mangroves that leads to a ramp and floating dock (similar to the photo below). Please let me know if there is anything else I can provide and feel free to call me with any questions.



Thanks,

Blake Basye

Senior Development Manager

Johnson Development Associates, Inc.

100 Dunbar Street, Suite 400, Spartanburg, SC 29306

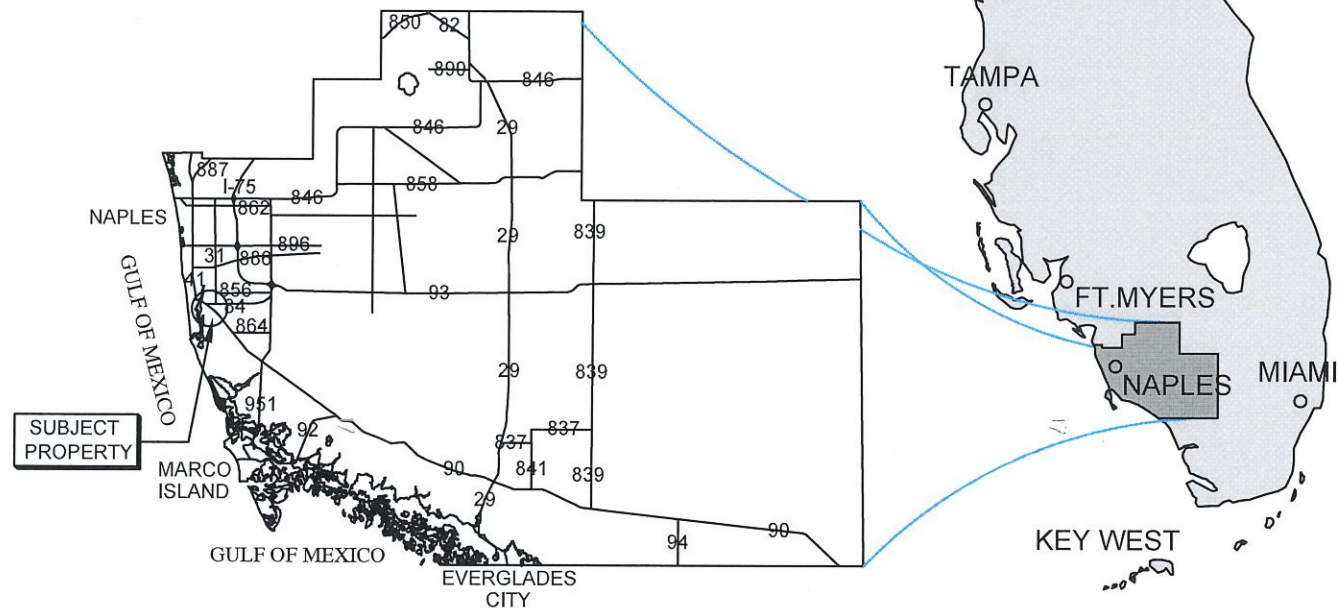
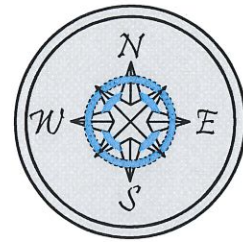
C:239.784.8656 | bbasye@johnsondevelopment.net

johnsondevelopment.net | thejohnsongroup.com



JOHNSON
DEVELOPMENT
ASSOCIATES, INC.
Part of TheJohnsonGroup

STATE OF FLORIDA



COLLIER COUNTY

NOTES:

<> THESE DRAWINGS ARE INTENDED FOR CONSTRUCTION USE.

SITE ADDRESS:

<> 3290 TAMiami TR
NAPLES, FL 34112

<> LATITUDE: N 26.124865

<> LONGITUDE: W 81.765841

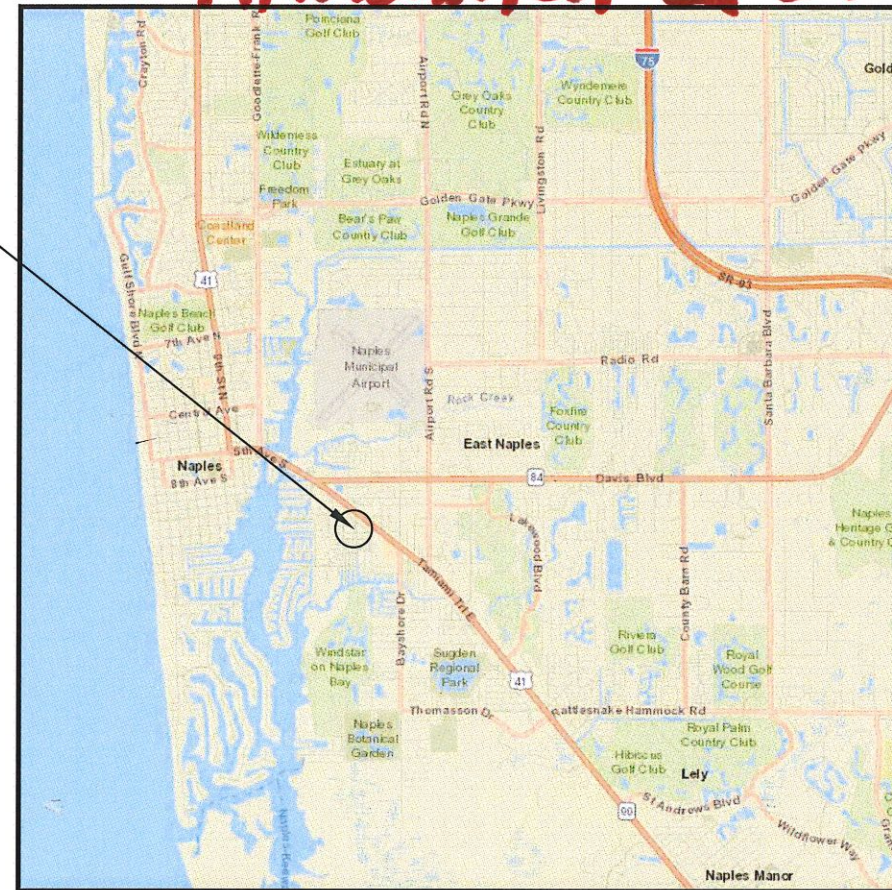
COURTHOUSE SHADOWS CONSTRUCTION

SHEET NO.	SHEET TITLE
G100	LOCATION PAGE
C100	RIPRAP PLAN
C101	OVERALL SITE PLAN
C102	DOCK AND BOARDWALK PLAN
C102	DOCK AND BOARDWALK DETAILS

JOSHUA W. MAXWELL
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 81247

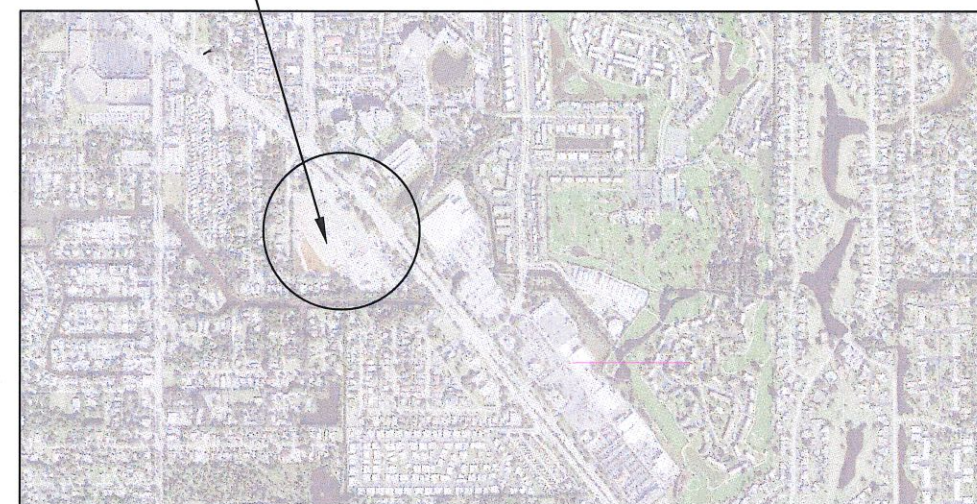
DATE: October 7, 2022 7:59 AM

SUBJECT
PROPERTY



VICINITY MAP

SUBJECT
PROPERTY



COUNTY AERIAL

Attachment 2 - Item A

3290 TAMiami TR NAPLES, FL 34112
COURTHOUSE SHADOWS - KAYAK LAUNCH
LOCATION PAGE

TURRELL, HALL & ASSOCIATES, INC.
Marine & Environmental Consulting
3804 Exchange Ave., Suite B
Naples, FL 34104
Phone: (239) 643-0166 Fax: (239) 643-6632
email: tturna@thunaples.com
RY NO. 5875

REV #	REV BY	DATE	CHG BY	CHANGED
01	JWM			
02				
03				
04				
05				
06				
07				
08				
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10				
11				
12				

REVIEWED BY: JWM
SHEET: G100
PROJECT: 1898.01
DATE: 10-07-22
LOCATION PAGE

p:\1898.01 courthouse shadows - kayak launch\CAID\CONSTRUCTION\1898-STATE-CONST.dwg 10/7/2022



3290 TAMIAMI TR NAPLES, FL 34112

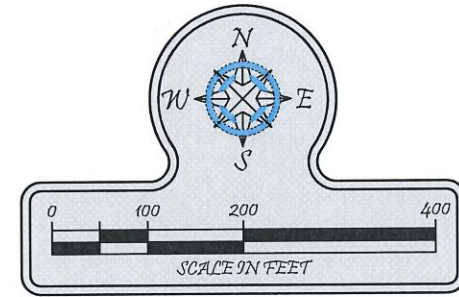
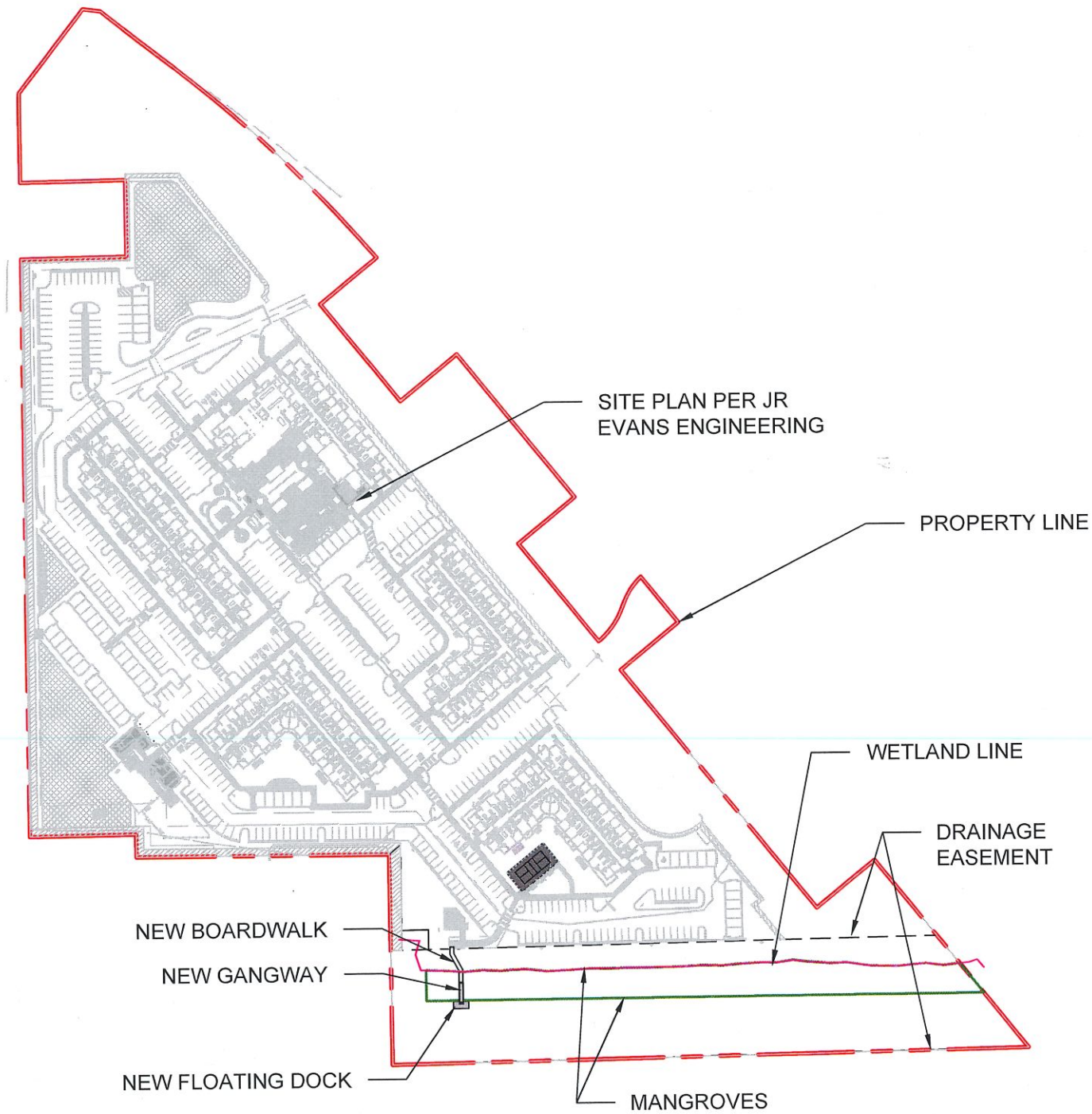
COURTHOUSE SHADOWS - KAYAK LAUNCH EXISTING CONDITIONS

**TURRELL, HALL & ASSOCIATES, INC.**
Marine & Environmental Consulting
3584 Exchange Ave. Suite B,
Naples, FL 34104-7239 643-6632
email: th@thnaples.com
RY NO. 5875

DATE	CHK BY	CHANGED
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DESIGNED BY: RMJ	REVIEWED BY: JWM
CHECKED BY: JJ	SHEET: C100
PROJECT: 1898.01	
DATE: 10-07-22	
LAYOUT: EXISTING CONDITIONS	

p:\1898.01 courthouse shadows - kayak launch\CAD\CONSTRUCTION\1898-STATE-CONST.dwg 10/7/2022



SITE ADDRESS:
3290 TAMIAMI TR
NAPLES, FL 34112

- NOTES:**
- THESE DRAWINGS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION USE.
 - ALL DATUM SHOWN HEREON IS REFERENCED TO MLW
 - SURVEY COURTESY OF: "JR EVANS ENGINEERING"
 - SURVEY DATED: 2020
 - APPLICANT OWNED SHORELINE (APPX LF): XX.XX
 - EXISTING OVERWATER STRUCTURE (APPX SF): 0
 - WIDTH OF WATERWAY, MHW TO MHW (APPX): 80'
 - TIDAL DATUM:
 - MHW (NAVD)= +XX.XX'
 - MLW (NAVD)= -XX.XX'
 - PROPOSED OVERWATER STRUCTURE (APPX SF): 606
 - TOTAL OVERWATER STRUCTURE (APPX SF): 606
 - TOTAL PROTRUSION FROM MHWL: 28'-3"

TURRELL HALL & ASSOCIATES, INC.
Marine & Environmental Consulting
3584 Exchange Ave. Suite B,
Naples, FL 34109
Phone: (239) 431-0167 Fax: (239) 643-6632
email: thna@thnaples.com
RY NO. 5875

3290 TAMIAMI TR NAPLES FL 34112

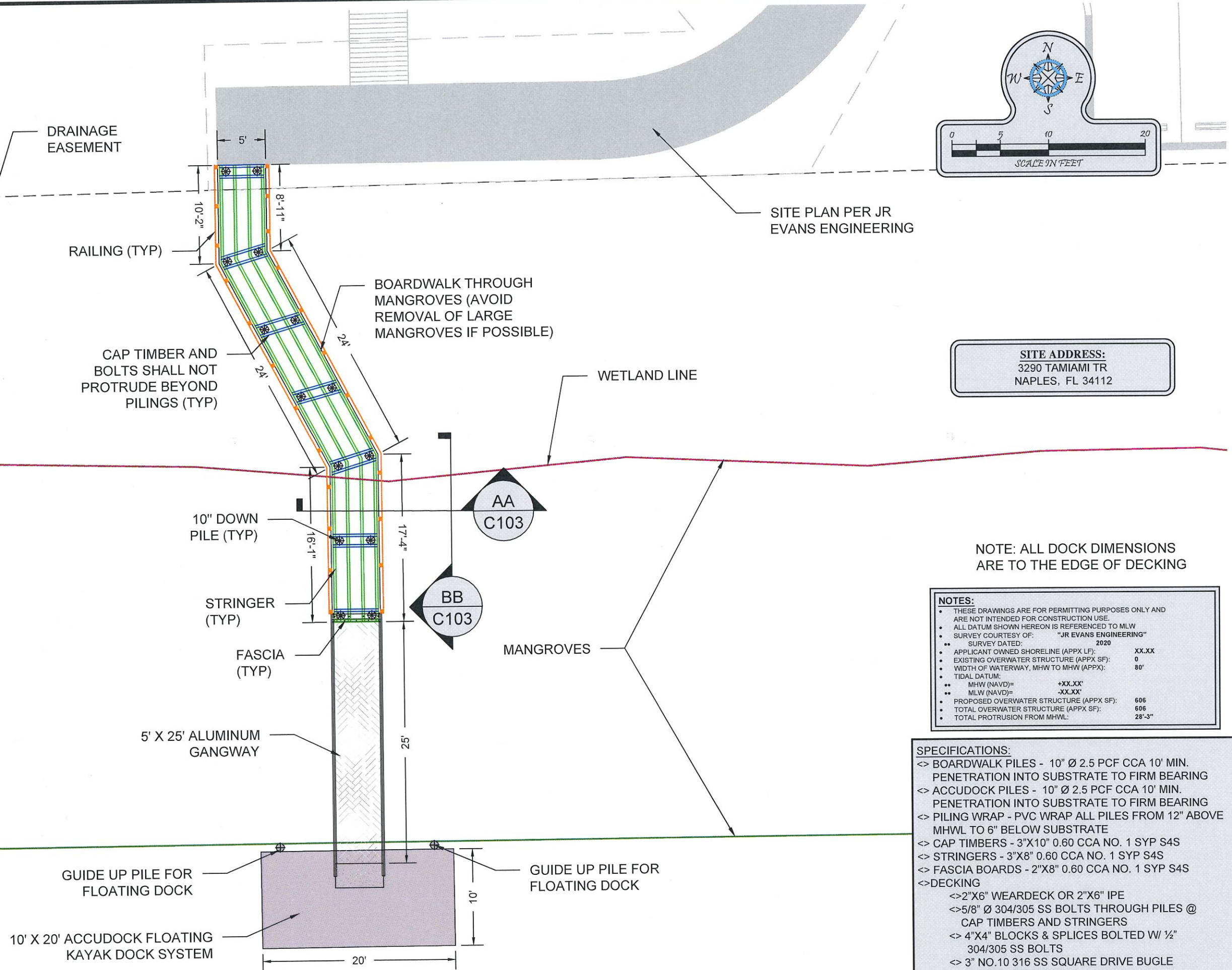
COURTHOUSE SHADOWS - KAYAK LAUNCH

OVERALL SITE PLAN

REV#	REV BY	DATE	CHECK BY	CHANGED
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DESIGNED BY: RMJ	CHECKED BY: JWM	PROJECT: 1898.01	DATE: 10-07-22	LAYOUT: OVERALL SITE PLAN
SHEET: C101				

p:\1898.01 courthouse shadows - kayak launch\CD\CONSTRUCTION\1898-STATE-CONST.dwg 10/7/2022



3290 TAMiami TR NAPLES FL 34112

COURTHOUSE SHADOWS - KAYAK LAUNCH

DOCK AND BOARDWALK PLAN

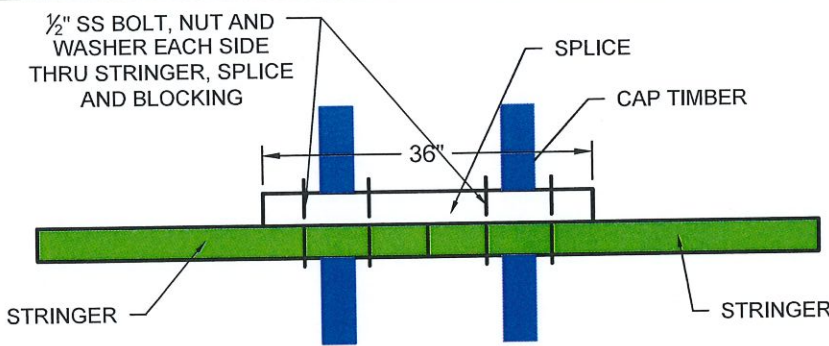
TURRELL, HALL & ASSOCIATES, INC.
Marine & Environmental Consulting
3584 Exchange Ave. Suite B
Naples, FL 34104
Phone: (239) 434-6632
email: thnaples.com
RY NO. 5875

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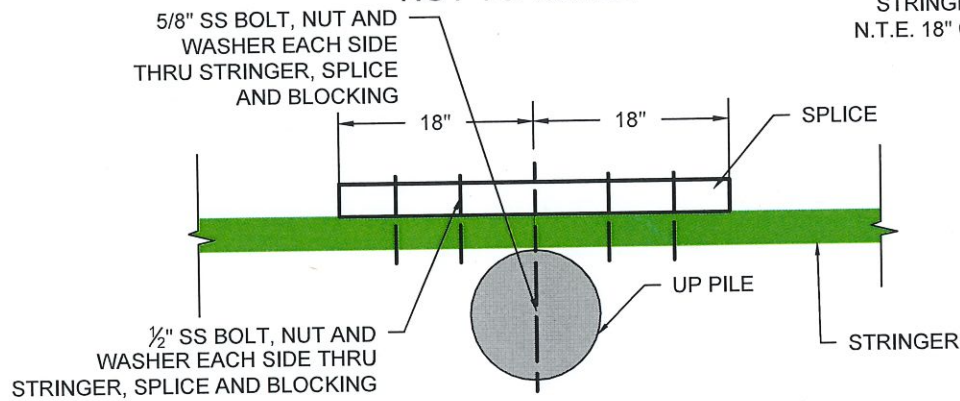
DESIGNED BY	RMJ
CHECKED BY	JJM
PROJECT	1898.01
DATE	10-07-22
LAYOUT	DOCK AND BOARDWALK PLAN

SHEET	C102
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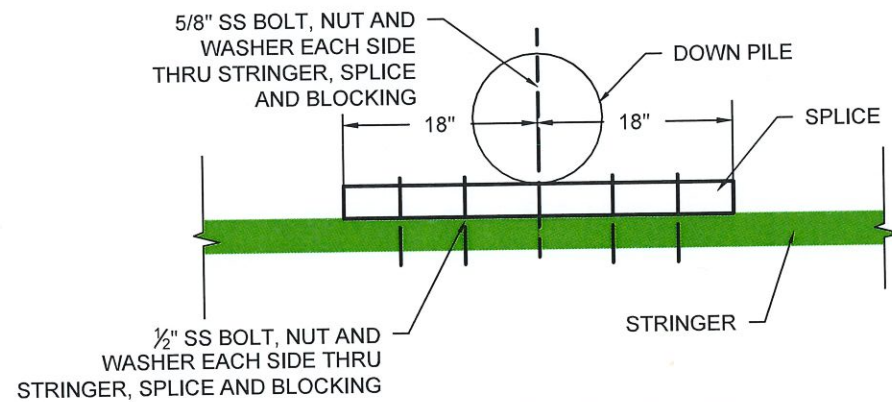
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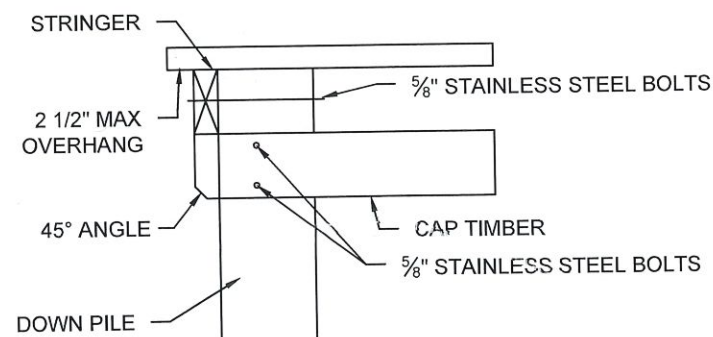
TYPICAL INTERIOR SPLICE DETAIL
NOT TO SCALE



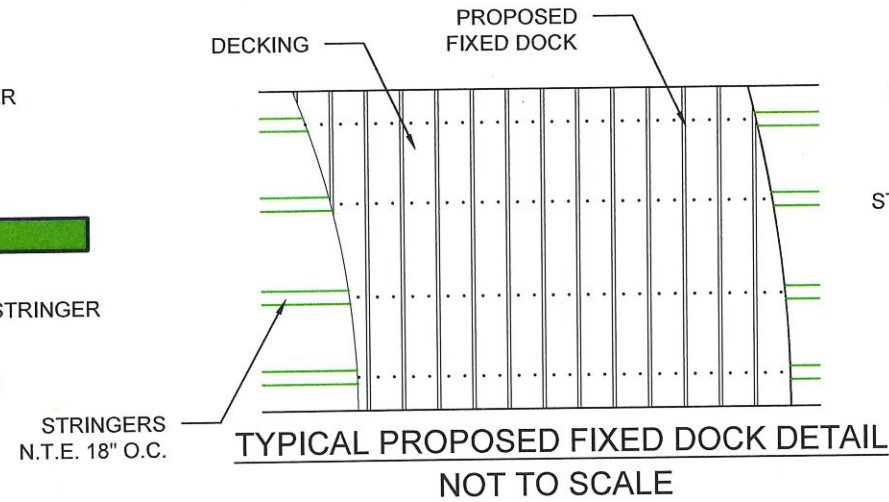
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NOT TO SCALE



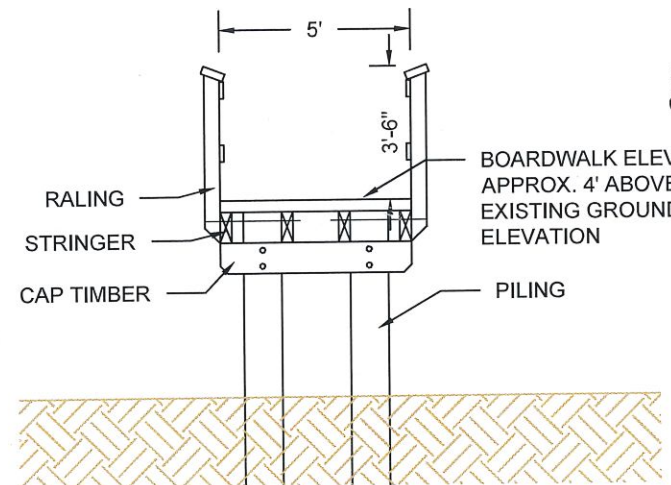
TYPICAL STRINGER SPLICE DETAIL
WOOD DOWN PILE
NOT TO SCALE



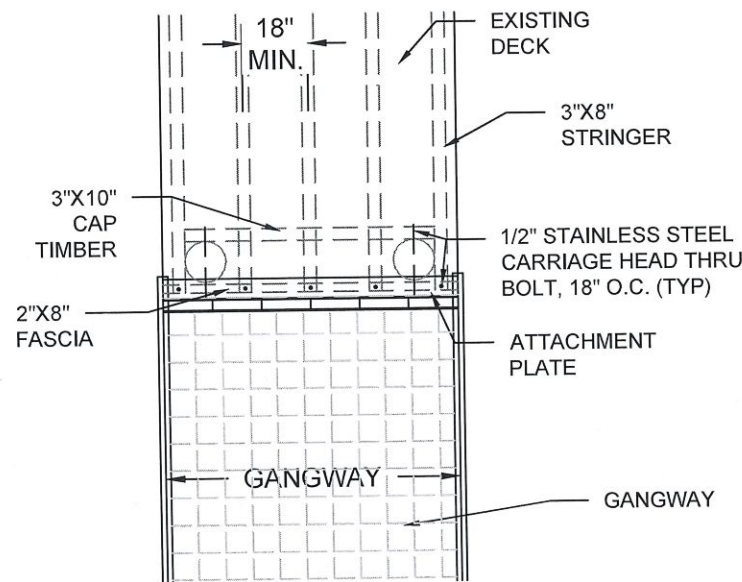
BELOW DECK PILING DETAIL
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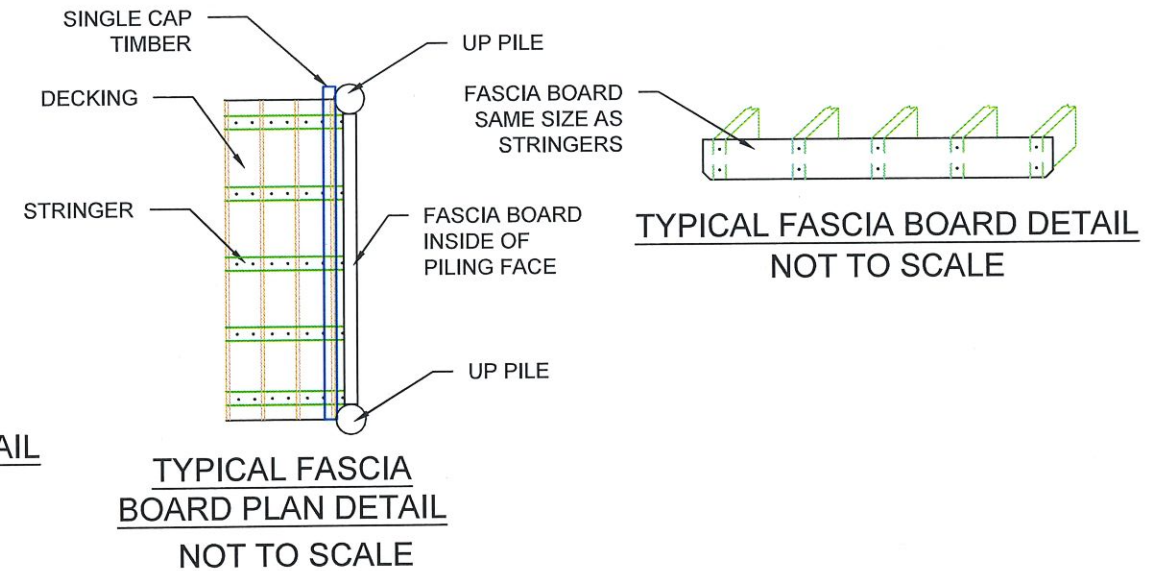
TYPICAL PROPOSED FIXED DOCK DETAIL
NOT TO SCALE



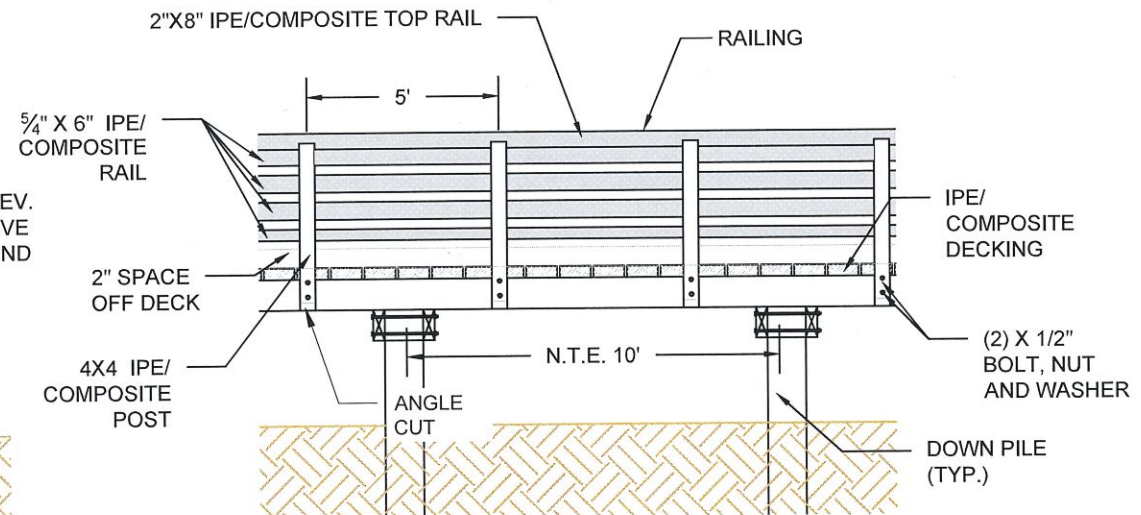
CROSS SECTION AA -
BOARDWALK DETAIL
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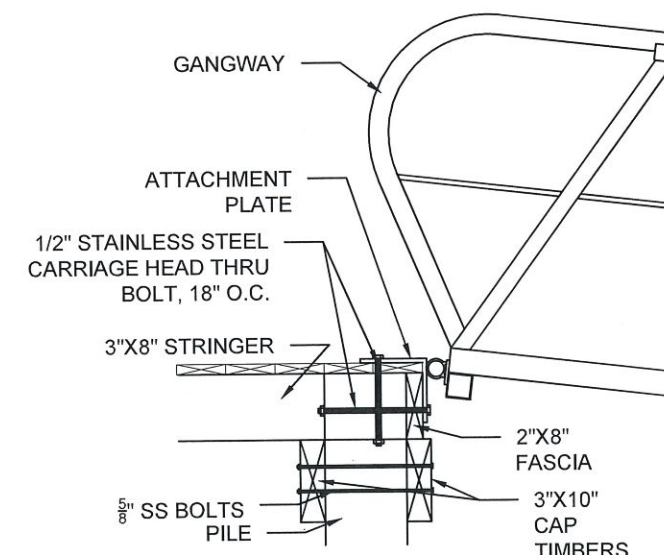
TYP. GANGWAY CONNECTION TO
WOOD FRAMING DETAIL
NOT TO SCALE



TYPICAL FASCIA
BOARD PLAN DETAIL
NOT TO SCALE



CROSS SECTION BB -
BOARDWALK RAILING DETAIL
NOT TO SCALE



TYP. GANGWAY CONNECTION TO
WOOD FRAMING SECTION
NOT TO SCALE

3290 TAMIAW MITT, NAPLES, FL 34112

COURTHOUSE SHADOWS - KAYAK LAUNCH
DOCK AND BOARDWALK DETAILS

TURRELL, HALL & ASSOCIATES, INC.
Marine & Environmental Consulting
3584 Exchange Avenue B.
Naples, FL 34104-3731
Phone: (239) 643-0166 Fax: (239) 643-6632
email: tturna@thnaples.com
RY NO. 5875

REVISION	DATE	BY	CHKD	CHANGED
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DESIGNED BY: RMJ
CHECKED BY: JWM
PROJECT: 1898.01
DATE: 10-07-22
SHEET: C103
DOCK AND BOARDWALK DETAILS

INSUBSTANTIAL CHANGE TO SITE DEVELOPMENT PLANS PL20210001899

MAREA LUXURY APARTMENTS FKA
COURTHOUSE SHADOWS APARTMENTS

LOCATED IN COLLIER COUNTY, FLORIDA
PART OF SECTION 12, TOWNSHIP 50 SOUTH, RANGE 25 EAST



Reviewed and Approved For:
Permit Issuance
PL20220004457 Date: 7/8/2022

DEVELOPED BY

PROPERTY OWNER
JDA COURTHOUSE SHADOWS, LLC.
100 DUNBAR STREET, SUITE 400
SPARTANBURG, SC 29306

DEVELOPED BY
JOHNSON
DEVELOPMENT
ASSOCIATES, INC.
Part of TheJohnsonGroup

PROPERTY INFORMATION

SITE ADDRESS
3290 & 3420 TAMiami TRAIL EAST
NAPLES, FL 34112

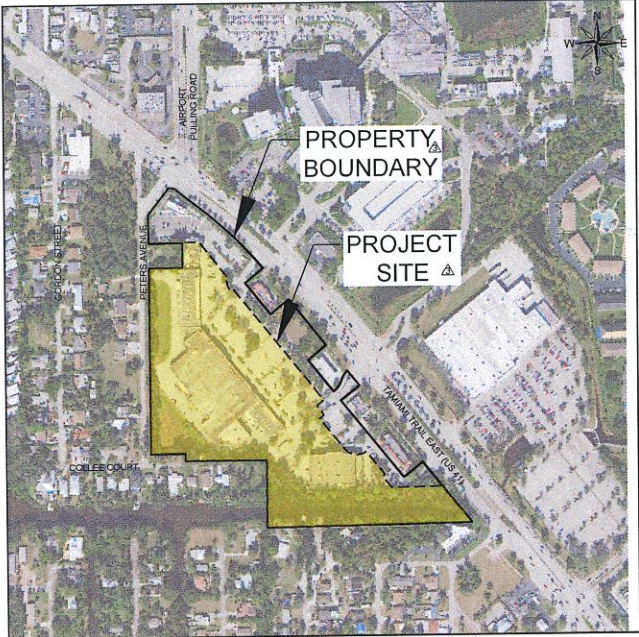
FOLIO NUMBERS
28750000028
28750000523
28750000769

FLOOD ZONE
ACCORDING TO THE FLOOD INSURANCE RATE MAP
NO. 12021C0394H & 12021C0582 H,
EFFECTIVE DATE: MAY 16, 2012,
THE PROPERTY IS LOCATED IN "AE",
WITH A BASE FLOOD ELEVATION OF 7.00 FT-NAVD

ZONING
COURTHOUSE SHADOWS
PUD ORDINANCE # 19-40



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

INDEX OF SHEETS

- COVER
- GENERAL NOTES
- AERIAL AND FLUCCS MAP
- EXISTING CONDITIONS PLAN
- ZONING DATA PLAN
- MASTER PAVING, MARKING AND SIGNAGE PLAN
- MASTER DRAINAGE AND UTILITY PLAN
- DRAINAGE PLAN - A
- DRAINAGE PLAN - B
- UTILITY PLAN - A
- UTILITY PLAN - B
- PLAN AND PROFILE: (STA 0+00 TO STA 4+00)
- PLAN AND PROFILE: (STA 0+75 TO STA 6+75)
- CROSS SECTIONS
- CROSS SECTIONS
- PAVING, GRADING AND DRAINAGE DETAILS
- CITY OF NAPLES WATER AND UTILITY DETAILS
- COLLIER COUNTY WASTEWATER DETAILS
- EROSION CONTROL PLAN AND DETAILS
- PRESERVE MANAGEMENT

LEGAL DESCRIPTION

PARCEL 1:
TRACT 'A', COURTHOUSE SHADOWS, ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 29, PAGE 40, OF THE PUBLIC RECORDS OF
COLLIER COUNTY, FLORIDA.

PARCEL 2:
TRACT 'B', COURTHOUSE SHADOWS, ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 29, PAGE 40, OF THE PUBLIC RECORDS OF
COLLIER COUNTY, FLORIDA.

PARCEL 3:
TRACT 'E', COURTHOUSE SHADOWS, ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 29, PAGE 40, OF THE PUBLIC RECORDS OF
COLLIER COUNTY, FLORIDA.

RESIDENTIAL BUILDING PARAMETERS

BUILDINGS TYPES	TYPE I	TYPE II	TYPE III
NUMBER OF BUILDINGS (PER TYPE)	1	3	1
NUMBER OF STORIES	4	4	4
FIRST FLOOR UNITS	5	15	18
SECOND FLOOR UNITS	11	15	18
THIRD FLOOR UNITS	16	15	18
FOURTH FLOOR UNITS	16	15	18
TOTAL UNITS (PER BUILDING)	48	60	72
TOTAL UNITS (OVERALL)	300 UNITS		
GROUND FLOOR UNIT AREA (MIN-MAX)	862 - 1,253	788 - 1,615	786 - 1,253
SECOND FLOOR UNIT AREA (MIN-MAX)	833 - 1,254	788 - 1,615	786 - 1,253
THIRD FLOOR UNIT AREA (MIN-MAX)	833 - 1,615	788 - 1,615	786 - 1,253
FOURTH FLOOR UNIT AREA (MIN-MAX)	833 - 1,165	788 - 1,615	786 - 1,253
MINIMUM FLOOR AREA PER UNIT (SF)	833	788	786
GROSS FLOOR AREA PER BUILDING (SF)	75,843	76,825	83,095
TYPE OF CONSTRUCTION (ALL BLDGS)	III-A	III-A	III-A
OCCUPANCY / USE	R, A3, R-2	R-2	R-2
FIRE SPRINKLERS	YES	YES	YES
ZONED BUILDING HEIGHT (FT)	51.58	47.92	48.83
ACTUAL BUILDING HEIGHT (FT)	59.83	56.58	57.17

NON-RESIDENTIAL BUILDING PARAMETERS

BUILDINGS	BUILDING 6	GARAGE 7	GARAGE 8 HANDICAP ACCESSIBLE	GARAGE 9 HANDICAP ACCESSIBLE	GARAGE 10	MAINTENANCE (BLDG 12)	TRASH COMPACTOR & RECYCLING ENCLOSURE (BLDG 13)	GARAGE 14	GARAGE 15	GARAGE 16	GARAGE 17	GARAGE 18 (BOOSTER PUMP)
BUILDING TYPE	TYPE IV-B	TYPE IV	TYPE IV-A	TYPE IV-A	TYPE IV	TYPE V	TYPE VI	TYPE IV	TYPE IV	TYPE IV	TYPE IV	TYPE IV-C
UNITS PER BUILDING	6	6	6	6	6	1	1	6	6	6	6	5
ZONED BUILDING HEIGHT (FT)	16.5	12.17	12.17	12.17	12.17	12.67	10.08	12.17	12.17	12.17	12.17	12.17
ACTUAL BUILDING HEIGHT (FT)	20.92	14.92	14.92	14.92	14.92	15.5	10.75	14.92	14.92	14.92	14.92	14.92
GROSS FLOOR AREA (SF)	3,155	1,657	1,748	1,748	1,657	1,050	1,175	1,657	1,657	1,657	1,657	1,558
TYPE OF CONSTRUCTION	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B
OCCUPANCY / USE	A3 & U	U	U	U	U	U	U	U	U	U	U	U
FIRE SPRINKLERS	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO

J.R. EVANS ENGINEERING, P.A.
9351 CORKSCREW ROAD, SUITE 102
ESTERO, FLORIDA 33928
PHONE: (239) 405-9148
FAX: (239) 288-2537
WWW.JREVAENGINEERING.COM

COURTHOUSE SHADOWS
APARTMENTS

SITE DEVELOPMENT PLAN AMENDMENT

DATE	REVISIONS	1ST SUBMITTAL (09-29-2020)
10-15-2021	REVISED PER COLLIER COUNTY COMMENTS	
12-01-2021	REVISED PER COLLIER COUNTY COMMENTS	
11-25-2021	REVISED PER COLLIER COUNTY COMMENTS	
12-07-2021	REVISED PER SPWMD COMMENTS	
01-29-2022	REVISED PER COLLIER COUNTY & SPWMD COMMENTS	
02-09-2022	REVISED PER SPWMD COMMENTS	
05-26-2022	REVISED PER COLLIER COUNTY COMMENTS	
09-13-2022	REVISED PER CLIENT	
11-30-2022	REVISED PER COLLIER COUNTY COMMENTS	



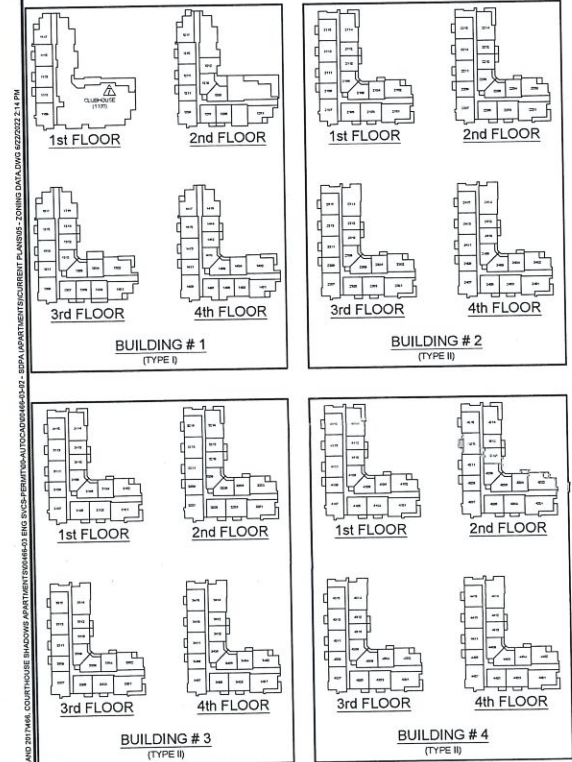
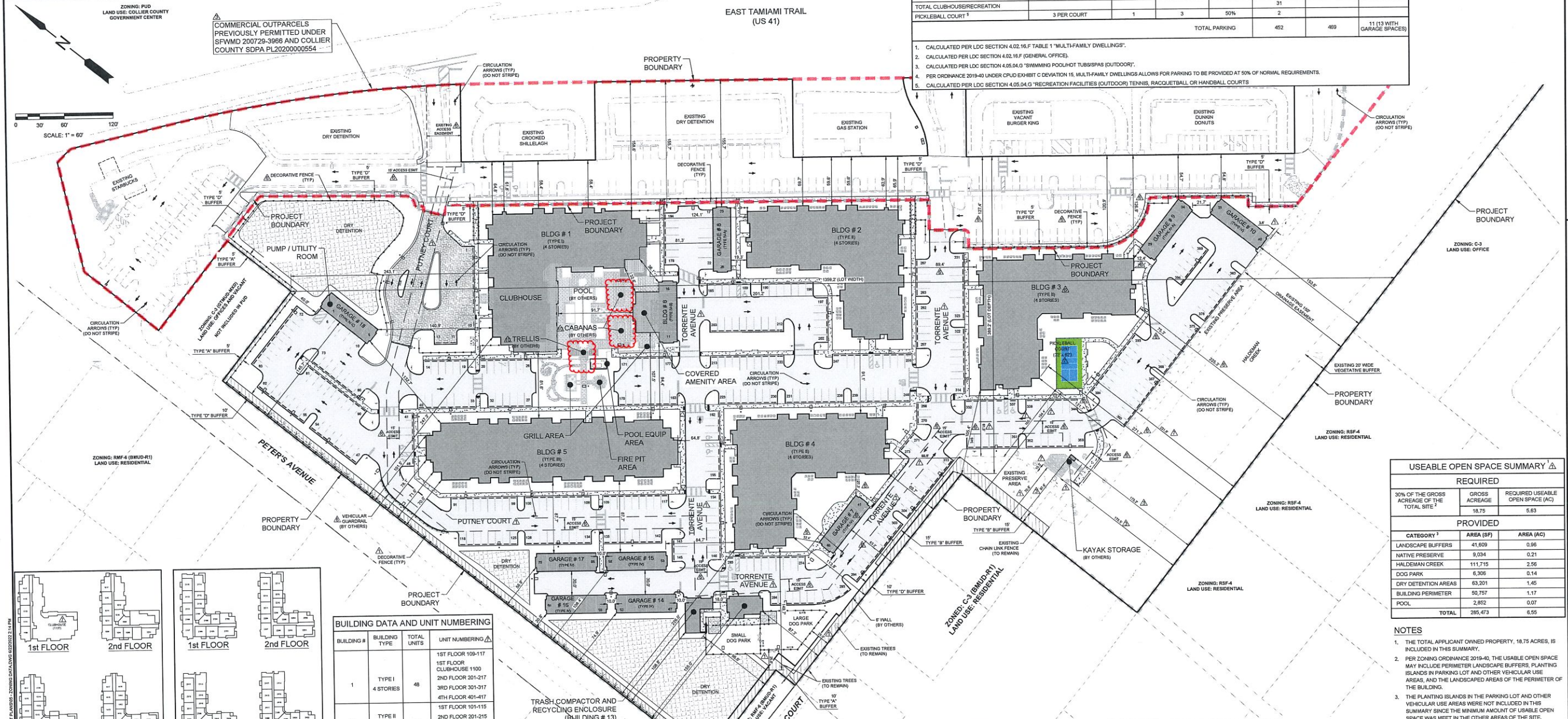
Digitally signed by Christopher Mitchell
DN: c=US, st=Florida, In=Estero,
ou=Christopher Mitchell,
cn=Christopher Mitchell,
email=cmitche@jeeng.com
Date: 2022.06.23 10:47:08 -0400
CHRISTOPHER R. MITCHELL P.E.
FL LICENSE NO. 56740
FL COA # 29226

DATUM NOTE:
ALL ELEVATIONS REFERENCE NAVD83 VERTICAL DATUM.
APPROPRIATE CONVERSION FOR PROJECT AREA: NAVD83 + 1.28' = NAVD83
ANY DATUM CONVERSIONS SHOULD BE CONFIRMED BY A LICENSED SURVEYOR PRIOR TO USE.

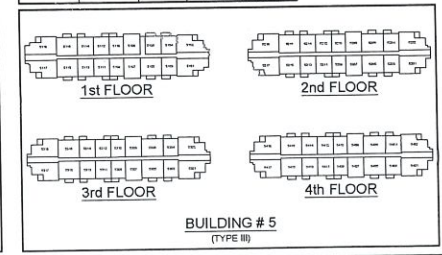
PROJECT #: 00466-03
SHEET: 1

NON-RESIDENTIAL BUILDING PARAMETERS											
BUILDINGS	BUILDING 6	GARAGE 7	GARAGE 8	GARAGE 9	GARAGE 10	GARAGE 11	TRASH COMPACTOR & RECYCLING ENCLOSURE (BLDG 13)	GARAGE 14	GARAGE 15	GARAGE 16	GARAGE 17
BUILDING TYPE	TYPE IV-B	TYPE IV	TYPE IV-A	TYPE IV-A	TYPE IV	TYPE IV	TYPE VI	TYPE IV	TYPE IV	TYPE IV	TYPE IV
UNITS PER BUILDING	6	6	6	6	6	6	1	6	6	6	6
ZONED BUILDING HEIGHT (FT)	16.5	12.17	12.17	12.17	12.17	12.17	10.08	12.17	12.17	12.17	12.17
ACTUAL BUILDING HEIGHT (FT)	20.92	14.92	14.92	14.92	14.92	15.5	10.75	14.92	14.92	14.92	14.92
GROSS FLOOR AREA (SF)	3,155	1,657	1,746	1,746	1,657	1,657	1,375	1,657	1,657	1,657	1,658
TYPE OF CONSTRUCTION	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B	V-B
OCCUPANCY / USE	A3 & U	U	U	U	U	U	U	U	U	U	U
FIRE SPRINKLERS	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO

Collier County
Reviewed and Approved For:
Permit Issuance
PL20220004457 Date: 7/8/2022



BUILDING DATA AND UNIT NUMBERING			
BUILDING #	BUILDING TYPE	TOTAL UNITS	UNIT NUMBERING
1	TYPE I 4 STORIES	48	1ST FLOOR 109-117 2ND FLOOR 109-117 3RD FLOOR 201-217 4TH FLOOR 401-417
2	TYPE II 4 STORIES	60	1ST FLOOR 101-115 2ND FLOOR 201-215 3RD FLOOR 301-315 4TH FLOOR 401-415
3	TYPE II 4 STORIES	60	1ST FLOOR 101-115 2ND FLOOR 201-215 3RD FLOOR 301-315 4TH FLOOR 401-415
4	TYPE II 4 STORIES	60	1ST FLOOR 101-115 2ND FLOOR 201-215 3RD FLOOR 301-315 4TH FLOOR 401-415
5	TYPE III 4 STORIES	72	1ST FLOOR 101-118 2ND FLOOR 201-218 3RD FLOOR 301-318 4TH FLOOR 401-418



PROJECT AREA LAND USE SUMMARY			
PERVIOUS AREA			
CATEGORY	SQUARE FOOTAGE	TOTAL ACRES	PERCENTAGE OF TOTAL ACRES
LANDSCAPE / OPEN SPACE	144,864	3.33	23%
DETENTION (TOP)	39,524	0.91	6%
CANAL/CANAL BANK	111,715	2.56	18%
WETLAND/PRESERVE	9,034	0.21	1%
PERVIOUS AREA SUB-TOTAL	305,222	7.03	46%
IMPERVIOUS AREA			
CATEGORY	SQUARE FOOTAGE	TOTAL ACRES	PERCENTAGE OF TOTAL ACRES
BUILDING	120,934	2.78	19%
PAVEMENT / SIDEWALK	208,310	4.78	33%
IMPERVIOUS AREA SUB-TOTAL	329,244	7.56	52%
PROJECT AREA TOTAL	635,466	14.59	100%

PARKING CALCULATION TABLE							
USE	PARKING RATIO	UNITS / S.F.	CALCULATED PARKING SPACES	REDUCTION	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED	HANDICAP SPACES PROVIDED
RESIDENTIAL ¹	1 PER UNIT	150	150	0%	150		
1-BEDROOM	1.5 PER UNIT	124	186	0%	186		
2-BEDROOM	2 PER UNIT	26	52	0%	52		
3-BEDROOM							
TOTAL RESIDENTIAL					388		
CLUBHOUSE/RECREATION ²	1 PER 300 SF	10,709	31	50%	16		
CLUBHOUSE - OFFICE, REC, MISC ²							
MULTI-FAMILY POOL ³	1 PER 75 SF FOR FIRST 1,000 SF 1 PER 125 SF THEREAFTER	2,939	29	50%	15		
TOTAL CLUBHOUSE/RECREATION					31		
PICKLEBALL COURT ⁴	3 PER COURT	1	3	50%	2		
TOTAL PARKING					452	469	11 (13 WITH GARAGE SPACES)

1. CALCULATED PER LDC SECTION 4.02.16.F TABLE 1 "MULTI-FAMILY DWELLINGS".
2. CALCULATED PER LDC SECTION 4.02.16.F (GENERAL OFFICE).
3. CALCULATED PER LDC SECTION 4.05.04.G "SWIMMING POOL/HOT TUBS/SPAS (OUTDOOR)".
4. PER ORDINANCE 2019-40 UNDER CPUD EXHIBIT C DEVIATION 15, MULTI-FAMILY DWELLINGS ALLOWS FOR PARKING TO BE PROVIDED AT 50% OF NORMAL REQUIREMENTS.
5. CALCULATED PER LDC SECTION 4.05.04.G "RECREATION FACILITIES (OUTDOOR) TENNIS, RACQUETBALL OR HANDBALL COURTS".

PARKING LOCATION SUMMARY		
LOCATION	SPACES PROVIDED	HANDICAP PROVIDED
SURFACE PARKING	399	11
BUILDING GARAGE	59	2
TANDEM GARAGE	11	-
TOTAL	469	13

- NOTE:
1. BUILDING GARAGE SPACES INCLUDE INTERIOR GARAGE SPACES.
 2. TANDEM GARAGE INCLUDES EXTERIOR GARAGE SPACES.

USEABLE OPEN SPACE SUMMARY		
REQUIRED		
30% OF THE GROSS ACRES OF THE TOTAL SITE ¹	GROSS ACRES	REQUIRED USEABLE OPEN SPACE (AC)
	18.75	5.63
PROVIDED		
CATEGORY ²	AREA (SF)	AREA (AC)
LANDSCAPE BUFFERS	41,629	0.95
NATIVE PRESERVE	9,034	0.21
HALDEMAN CREEK	111,715	2.56
DOG PARK	6,306	0.14
DRY DETENTION AREAS	63,201	1.45
BUILDING PERIMETER	50,757	1.17
POOL	2,852	0.07
TOTAL	285,473	6.55

- NOTES
1. THE TOTAL APPLICANT OWNED PROPERTY, 18.75 ACRES, IS INCLUDED IN THIS SUMMARY.
 2. PER ZONING ORDINANCE 2019-40, THE USEABLE OPEN SPACE MAY INCLUDE PERIMETER LANDSCAPE BUFFERS, PLANTING ISLANDS IN PARKING LOT AND OTHER VEHICULAR USE AREAS, AND THE LANDSCAPED AREAS OF THE PERIMETER OF THE BUILDING.
 3. THE PLANTING ISLANDS IN THE PARKING LOT AND OTHER VEHICULAR USE AREAS WERE NOT INCLUDED IN THIS SUMMARY SINCE THE MINIMUM AMOUNT OF USEABLE OPEN SPACE WAS MET IN THE OTHER AREAS OF THE SITE.

COURTHOUSE SHADOWS PUD ORD. 19-40 DEVELOPMENT STANDARDS				
DEVELOPMENT STANDARDS	MULTI-FAMILY BUILDINGS		ACCESSORY STRUCTURES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
RESIDENTIAL DENSITY MINIMUM (14.74 UNITS PER ACRE FOR THE ENTIRE 20.35 AC PUD)	300	300	-	-
MINIMUM LOT AREA (SF)	10,000	635,466	-	-
MINIMUM LOT WIDTH (FEET)	N/A	1,359.2	-	-
MINIMUM LOT DEPTH (FEET)	N/A	399.2	-	-
MINIMUM FLOOR AREA (SF)	700	786	-	-
SETBACKS:				
FROM U.S. 41 (FEET)	140	158.6	15	155.7
FROM PETERS AVENUE (FEET)	70	70	15	20.8
FROM COLLEGE COURT (FEET)	50	69.7	40	87.3
FROM ALL OTHER PUD PERIMETER BOUNDARY (FEET)	20	108.4	10	153.6
FROM HALDEMAN CREEK (FEET)	25	77.2	0	3.6
FROM PUD BOUNDARY (PASSIVE RECREATION) (FEET)	-	-	25	25
FROM PUD BOUNDARY (ACTIVE RECREATION) (FEET)	-	-	50	97.8
FROM EXISTING PRESERVE AREA (FEET)	25	61.5	10	10.5
MINIMUM DISTANCE BETWEEN STRUCTURES (FEET)	25	64.8	10	10
MAX BUILDING HEIGHT - ZONED (BLDG 1,2,5) (FEET)	55	51.58	-	-
MAX BUILDING HEIGHT - ACTUAL (BLDG 1,2,5) (FEET)	65	59.83	-	-
MAX BUILDING HEIGHT - ZONED (BLDG 3,4) (FEET)	60	47.92	-	-
MAX BUILDING HEIGHT - ACTUAL (BLDG 3,4) (FEET)	60	56.58	-	-
MAX BUILDING HEIGHT - ZONED (DETACHED GARAGE) (FEET)	-	-	15	12.17
MAX BUILDING HEIGHT - ACTUAL (DETACHED GARAGE) (FEET)	-	-	18	14.92
MAX BUILDING HEIGHT - ZONED (BLDG 6) (FEET)	-	-	35	16.5
MAX BUILDING HEIGHT - ACTUAL (BLDG 6) (FEET)	-	-	40	20.92

RESIDENTIAL BUILDING PARAMETERS			
BUILDINGS TYPES	TYPE I	TYPE II	TYPE III
NUMBER OF BUILDINGS (PER TYPE)	1	3	1
NUMBER OF STORIES	4	4	4
FIRST FLOOR UNITS	5	15	18
SECOND FLOOR UNITS	11	15	18
THIRD FLOOR UNITS	16	15	18
FOURTH FLOOR UNITS	16	15	18
TOTAL UNITS (PER BUILDING)	48	60	72
TOTAL UNITS (OVERALL)	300 UNITS		
GROUND FLOOR UNIT AREA (MIN-MAX)	862 - 1,253	786 - 1,615	786 - 1,253
SECOND FLOOR UNIT AREA (MIN-MAX)	833 - 1,254	786 - 1,615	786 - 1,253
THIRD FLOOR UNIT AREA (MIN-MAX)	833 - 1,615	786 - 1,615	786 - 1,253
FOURTH FLOOR UNIT AREA (MIN-MAX)	833 - 1,165	786 - 1,615	786 - 1,253
MINIMUM FLOOR AREA PER UNIT (SF)	833	786	786
GROSS FLOOR AREA PER BUILDING (SF)	75,843	76,825	83,095
TYPE OF CONSTRUCTION (ALL BLDGS)	III-A	III-A	III-A
OCCUPANCY / USE	B, A3, R-2	R-2	R-2
FIRE SPRINKLERS	YES	YES	YES
ZONED BUILDING HEIGHT (FT)	51.58	47.92	48.58
ACTUAL BUILDING HEIGHT (FT)	59.83	56.58	57.17

DATUM NOTE:
ALL ELEVATIONS REFERENCED TO NAVD83 VERTICAL DATUM.
APPROXIMATE CONVERSION FOR PROJECT AREA: NAVD83 + 1.38' = NAD83
ANY DATUM CONVERSIONS SHOULD BE CONFIRMED BY A LICENSED SURVEYOR PRIOR TO USE.

J.R. EVANS ENGINEERING, P.A.
9351 CORKSCREW ROAD, SUITE 102
ESTERO, FLORIDA 33928
PHONE: (239) 405-9148
FAX: (239) 288-2537
WWW.JREVAENGINEERING.COM

COURTHOUSE SHADOWS
APARTMENTS
ZONING DATA PLAN

#	DATE	REVISIONS
1	11-29-2020	REVISED TABLES, FENCE DIMENSIONS, ADD STREET NAMES
2	01-29-2021	REVISED BLDG & STAIRWAYS TABLES - REVISE DIMENSIONS
3	05-26-2021	REVISED BLDG PARAMETER TABLE
4	09-13-2021	REVISED GARAGE #1 UPGRADE TABLE, REVISED BLDG #1, USED BY ACCESS EASY
5	11-16-2021	REVISED DETACHMENT TABLE, DIMENSIONS TO BLDG 3 & 4
6	10-01-2022	REVISED PARKING CALCULATION TABLE TO ADD REQUIRED SPACES FOR PICKLEBALL COURT
7	09-21-2022	ADDED CANALS

CHRISTOPHER R. MITCHELL P.E.
FL LICENSE NO. 56740
PROJECT #: 00486-03
SHEET: 5



Reviewed and Approved For:

Permit Issuance

PL20220004457

Date: 7/8/2022

COMMERCIAL OUTPARCELS
PREVIOUSLY PERMITTED UNDER
SFVMD 200729-3968 AND COLLIER
COUNTY SDPA PL2020000554

EAST TAMAMI TRAIL
(US 41)

0 30 60 120
SCALE: 1" = 60'

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J.R. EVANS
ENGINEERING

COURTHOUSE SHADOWS

APARTMENTS

MASTER DRAINAGE AND UTILITY PLAN

1ST SUBMITTAL (03-29-2022)

REVISIONS

DATE

REVISIONS

DATE

REVISIONS

DATE

REVISIONS

DATE

REVISIONS

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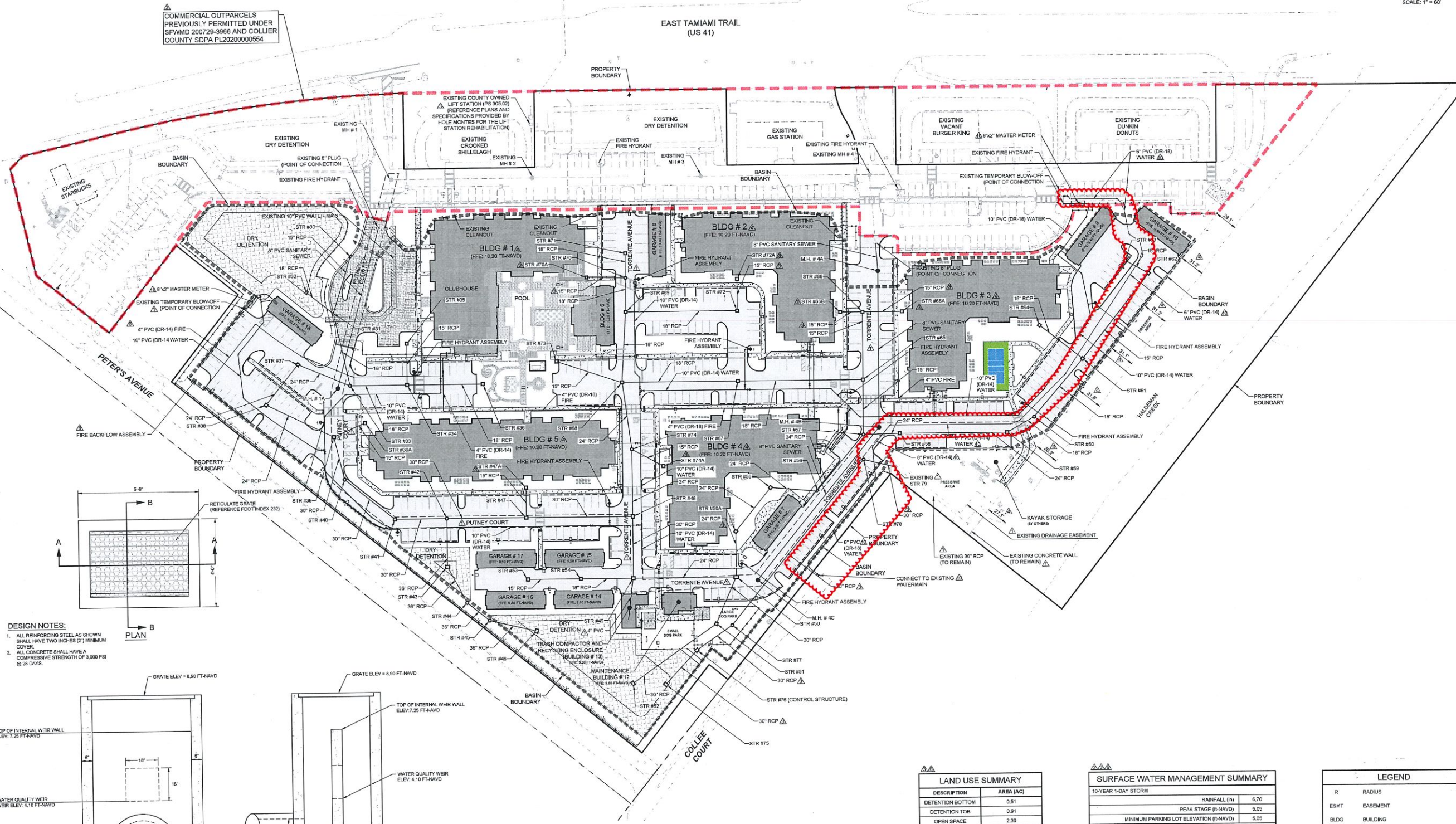
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01-29-2022
02-09-2022
02-13-2022
03-11-2022
04-05-2022
06-13-2022

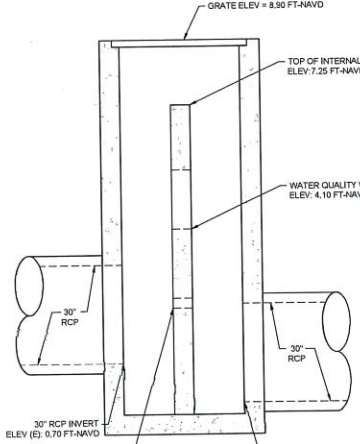
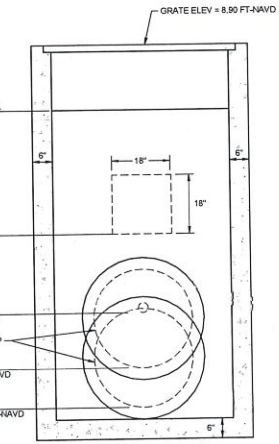
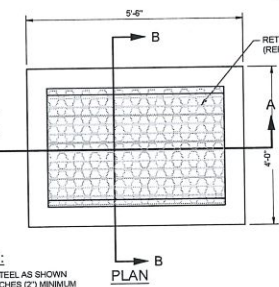
REVISED STORM OUTFALL LAYOUTS AND STREET NAMES
REVISED SWM SUMMARY AND CONTROL STRUCTURE DETAIL
REVISED SWM SUMMARY AND CONTROL STRUCTURE DETAIL
REVISED PER SFVMD COMMENTS
REVISED LAND USE & SWM TABLES
REVISED FIRE MAIN ROUTE/CONNECTION
REMOVE RETAINING WALL 2

CHRISTOPHER R. MITCHELL, P.E.
FL. LICENSE NO. 58740
FL. COA # 29226

PROJECT # 00486-03
SHEET: 7



DESIGN NOTES:
1. ALL REINFORCING STEEL AS SHOWN SHALL HAVE TWO INCHES (2") MINIMUM COVER.
2. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.



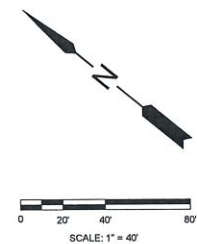
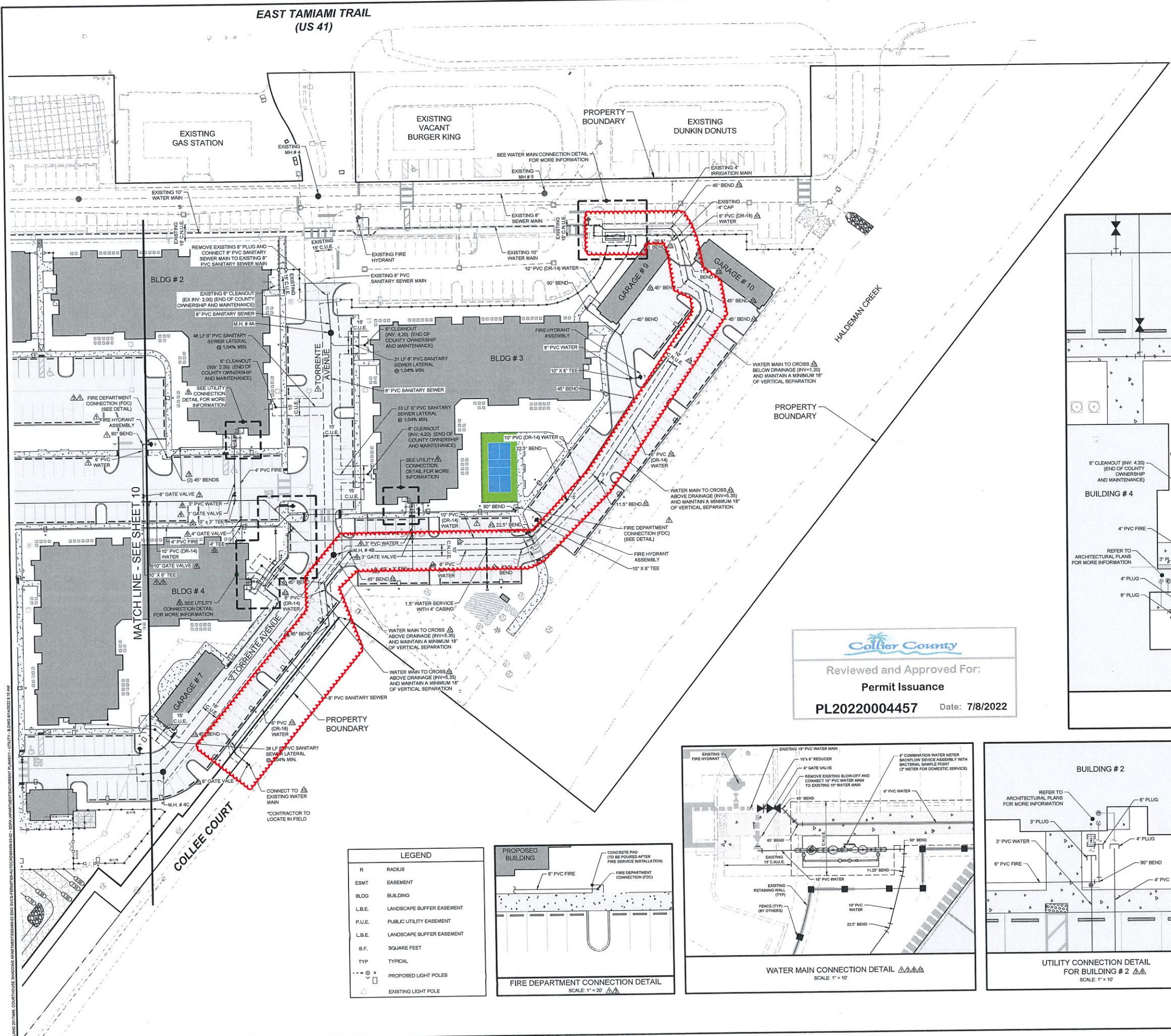
CONTROL STRUCTURE DETAIL
(STR #76) (TYPE "E" INLET)
NTS

LAND USE SUMMARY	
DESCRIPTION	AREA (AC)
DETENTION BOTTOM	0.51
DETENTION TOB	0.91
OPEN SPACE	2.30
ROAD / SIDEWALK	4.62
FINISHED FLOOR	2.78
TOTAL BASIN AREA	10.81

SURFACE WATER MANAGEMENT SUMMARY	
10-YEAR 1-DAY STORM	RAINFALL (IN) 6.70
	PEAK STAGE (I-NAVD) 5.05
	MINIMUM PARKING LOT ELEVATION (I-NAVD) 5.05
25-YEAR 3-DAY STORM	RAINFALL (IN) 11.40
	PEAK STAGE (I-NAVD) 6.78
	MINIMUM BERM ELEVATION (I-NAVD) 7.40
	PEAK DISCHARGE (CFS) 15.45
100-YEAR 3-DAY STORM	RAINFALL (IN) 14.00
	PEAK STAGE (I-NAVD) 7.20
	MINIMUM FINISHED FLOOR ELEVATION (I-NAVD) 9.12
CONTROL ELEVATION	0.70
FLOOD ZONE ELEVATION - AE	7.00

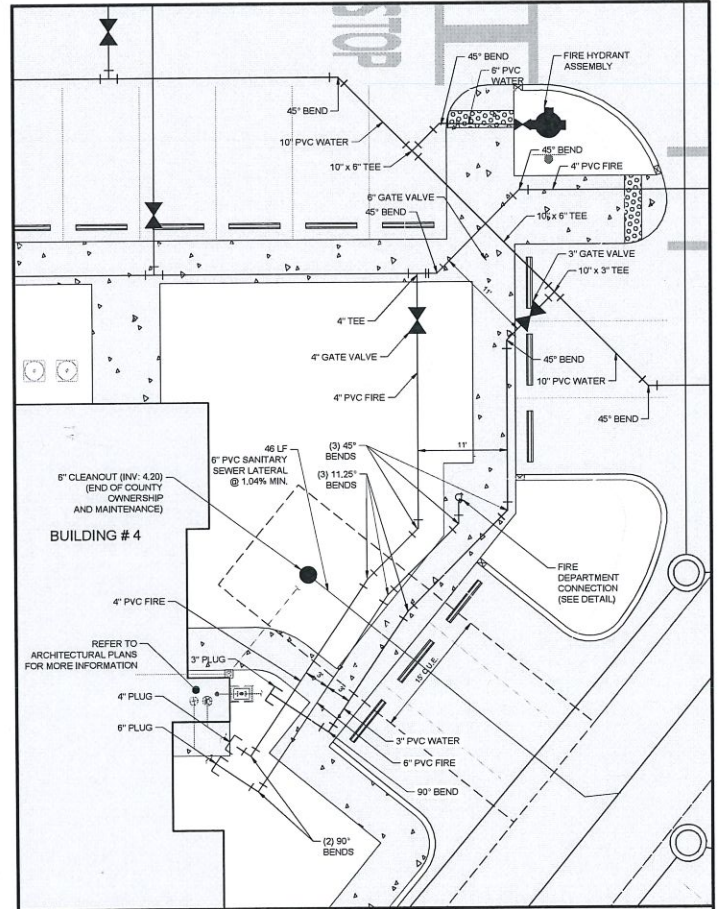
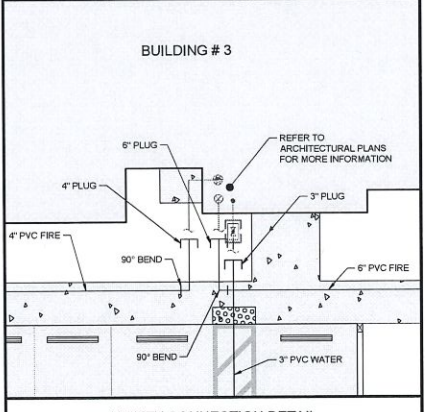
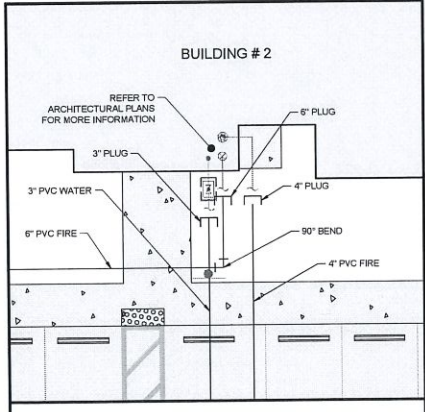
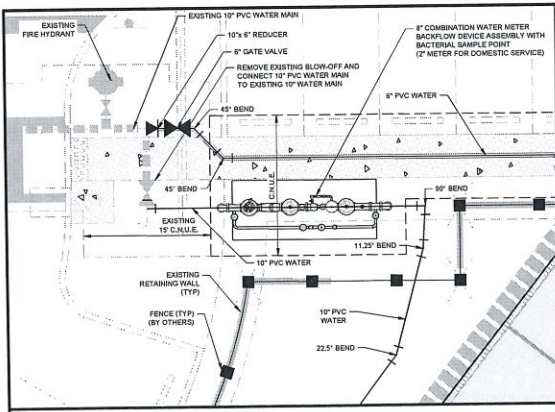
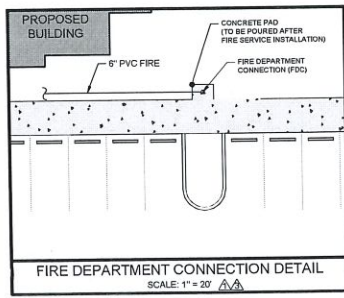
LEGEND	
R	RADIUS
ESMT	EASEMENT
BLDG	BUILDING
L.B.E.	LANDSCAPE BUFFER EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
L.B.E.	LANDSCAPE BUFFER EASEMENT
S.F.	SQUARE FEET
TYP	TYPICAL
PROPOSED LIGHT POLES	
EXISTING LIGHT POLE	

DATUM NOTE:
ALL ELEVATIONS REFERENCE NAVD83 VERTICAL DATUM.
APPROXIMATE CONVERSION FOR PROJECT AREA: FEET + 1.28 = M + 0.38
ANY DATUM CONVERSIONS SHOULD BE CONFIRMED BY A LICENSED SURVEYOR PRIOR TO USE.



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LEGEND	
R	RADIUS
ESMT	EASEMENT
BLDG	BUILDING
L.B.E.	LANDSCAPE BUFFER EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
L.B.E.	LANDSCAPE BUFFER EASEMENT
S.F.	SQUARE FEET
TYP	TYPICAL
○	PROPOSED LIGHT POLES
□	EXISTING LIGHT POLE



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COURTHOUSE SHADOWS
APARTMENTS

UTILITY PLAN - B

DATE	REVISIONS	1ST SUBMITTAL (09-29-2020)
11-25-2020	REVISED WATER MAIN CONNECTION DETAIL AND FIRE SERVICE LOCATIONS	
01-29-2021	REVISED FIRE DEPARTMENT AND UTILITY CONNECTION DETAILS	
03-13-2021	REVISED UTILITY CONNECTIONS TO BUILDINGS	
11-15-2021	REVISED FDC LOCATION AT BLDG #3	
06-12-2022	ADD WATERMAIN LOOP PER CITY OF MANALAPPEL REQUEST	

CHRISTOPHER R. MITCHELL P.E.
FL LICENSE NO. 56740
FL COA # 29226

PROJECT # 00466-03

SHEET: 11



Viage Bayshore Marina
Conditions of Approval

1. There shall be no marina operations or boat/trailer parking permitted within Accessory Parking Zone.
2. Site lighting shall be shielded to protect adjacent residential properties from light pollution.
3. Hours of operation shall be limited to 7:30am – 6:00pm daily.
4. The site shall not store, or display, more than a total of 90 boats on-site.
5. Boat repairs shall be limited to incidental boat repairs only. Major boat repairs are prohibited.

Viage Bayshore Marina
Deviation Justifications

1. Deviation #1 seeks relief from LDC Section 4.02.16. C.7.c "Marinas and Boatyards," which requires all boat racks to be enclosed with a wall or fence, with boats not exceeding the height of the enclosure, to instead allow an enhanced Type 'D' landscape buffer and a solid 8' vinyl fence along Riverview Drive to screen the boats and boat racks. The enhanced 10' Type 'D' buffer shall consist of a row of Cabbage Palms 16'-24' in height (clear trunk) at time of planting, a row of Dahoon Hollies a minimum of 6' in height at time of planting, a row of Green Buttonwoods a minimum 10' in height at time of planting and spaced a maximum 30' on center, and a hedge that is a minimum 36" in height at time of planting and spaced 36" on center.

Justification: The subject property has been utilized as a marina since the early 1970's, prior to the establishment of the Bayshore Zoning Overlay. Due to the size of the property, current code requirements contained within Bayshore Zoning Overlay, create significant constraints and challenges with proposed site improvements. Previous boat racks, ranging from $\pm 20'$ to $\pm 40'$ in height, were removed due to unsafe, poor conditions from 2018-2021. This deviation will allow the re-installation of boat racks on the subject property for storage, display and sales which are imperative to the operations of the existing marina. The new racks will also allow the site to function safely. All storage and marina operations will be removed from the lots located within the Accessory Parking Zone.

The newly installed racks are 20 in height (± 29 including a boat); therefore, less intense than the original on-site racks. The total land area available for the marina operations on the C-4 zoned lots is very limited, making it impossible to meet new design standards.

The existing 6' chain link fence will be replaced with a solid 8' vinyl fence and enhanced landscaping will be also installed, which will be beneficial to the surrounding community by making the site more aesthetically pleasing.

2. Deviation #2 seeks relief from LDC Section 4.02.16. C.10.d "Outdoor Display, Sales or Storage," which permits a maximum height of 17' above existing grade for boats that are stored or on display, to instead allow a maximum height of 29' (20' boat racks and an additional 9' to accommodate the height of boats).

Justification: Previous on-site boat racks ranged from 20' – 40' in height (up to 4-levels high). The requested boat racks are less intense than what previously existed on site. The additional 12' being requested will accommodate the various types of boats being stored on the property.

3. Deviation #3 seeks relief from LDC Section 4.02.16. C.10.e "Outdoor Display, Sales or Storage," which requires outdoor display, sales and storage of boats that exceed a height of 6' to be setback at least 50 feet from a property line that is in view of property zoned or used for residential purposes, to instead allow a 15' setback from Riverview Drive and a 10' setback from Lakeview Drive.

Justification: Due to the size of the existing property and location of existing structures, the proposed site improvements cannot meet a 50' setback. Views from surrounding residential properties are limited and will be improved with the solid 8' vinyl fence and enhanced landscaping that are proposed. A parking lot is located immediately north of the Marina site and a Convenience Store is located immediately south, both fronting Bayshore Drive.

4. Deviation #4 seeks relief from LDC Section 4.02.16. C.10.g "Buffering Standards - Outdoor Storage, Display or Sales Areas," which requires a 10' Type 'B' buffer for outdoor storage areas to instead allow an Enhanced 10' Type 'D' buffer along Lakeview Drive consisting of a solid 8' vinyl fence, a hedge that is a minimum of 36" in height at time of planting and spaced 36" on center, a row of Cabbage Palms 16'-24' in height (clear trunk) at time of planting, and Silver Buttonwoods 14' in height at time of planting and planted 10' on center.

Justification: Existing asphalt, site improvements and the existing location of power lines make meeting this code requirement unfeasible. The existing 6' chain link fence will be replaced with a solid 8' vinyl fence and new landscaping will be installed to screen the marina from nearby property owners.

5. Deviation #5 seeks relief from LDC Section 4.02.16. C.10.g "Buffering Standards- Outdoor Storage, Display or Sales Areas," which requires a 10' buffer consisting of trees a minimum of 14' in height spaced 30' on center and a double hedge row 3' in height and spaced 3' on center for outdoor display or sales areas, to instead allow an enhanced 10' Type 'D' buffer along Riverview Drive consisting of a solid 8' vinyl fence, a row of clustered Cabbage Palms 16'-24' in height (clear trunk) at time of planting, a row of Dahoon Hollies a minimum of 6' in height at time of planting, a row of Green Buttonwoods a minimum 10' in height at time of planting and spaced a maximum 30' on center, and a hedge that is a minimum 36" in height at time of planting and spaced 36" on center.

Response: Existing site improvements create challenges with meeting new code requirements. Enhanced landscaping, in conjunction with the solid 8' vinyl fence, are sufficient to screen the property from adjacent properties. The property has been utilized as a marina since the early 1970's.

6. Deviation #6 seeks relief from LDC Section 4.02.16. C.10.g "Buffering Standards - Outdoor Storage, Display or Sales Areas," which requires a 10' buffer consisting of trees a minimum of 14' in height spaced 30' on center and a double hedge row 3' in height and spaced 3' on center for outdoor display or sales areas, to instead allow a 10' landscape buffer along Bayshore Drive consisting of a solid 8' vinyl fence and a hedge that is a minimum of 36" in height at time of planting and spaced 36" on center, and a row of Cabbage Palms 16'-24' in height (clear trunk) at time of planting and a row of Silver Buttonwoods 14' in height at time of planting to satisfy vegetation requirements.

Justification: Existing site improvements create challenges with meeting this newly adopted code requirement. The existing 6' chain link fence, currently located on the property line along Bayshore Drive, will be removed. A new, solid 8' vinyl fence will be installed 3' off the property line which will provide ample space to accommodate improvements proposed with the Bayshore Beautification MSTU widening project (sidewalks, new landscaping and lighting). The relocation of the fence was a request by the Bayshore CRA to allow for the proposed roadway improvement project. Additionally, there is existing vegetation within the Bayshore right-of-way that will remain, providing additional vegetation and screening of the site. The boat racks will be screen by adding vegetation on the internal side of the fence.

The existing 6' chain link fence is legal non-conforming; therefore, not required to be removed. The property owner is proposing the installation of a solid fence to address compatibility with adjacent properties.



LOOKING WEST FROM BAYSHORE DRIVE





LOOKING NORTH FROM LAKEVIEW DRIVE





LOOKING SOUTH FROM RIVERVIEW DRIVE



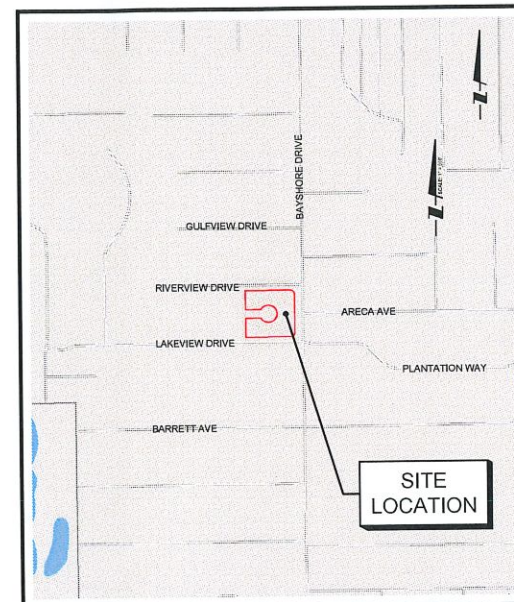
INSUBSTANTIAL CHANGE TO SDP 2001-AR-1873

VIAGE BAYSHORE MARINA

PART OF SECTION 14, TOWNSHIP 50 SOUTH, RANGE 25 EAST,
COLLIER COUNTY, FLORIDA



VICINITY MAP



LOCATION MAP

OWNER/DEVELOPER
VIAGE MARINAS, LLC
17913 SPENCER ROAD
ODESSO, FL 33556



**PENINSULA
ENGINEERING**
CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE ·
ENVIRONMENTAL CONSULTING · LAND PLANNING ·
SITE PLANNING · CONSTRUCTION MANAGEMENT ·
OWNER REPRESENTATIVE

3600 Collier Gate Parkway
Naples, Florida 34105
Phone: 239.403.6700 Fax: 239.261.1797
Email: info@pen-eng.com Website: www.pen-eng.com
Florida Engineering Certificate of Authorization #28275
Florida Landscape Certificate of Authorization #LC26000632

PROJECT:

VIAGE BAYSHORE MARINA

PLAN TITLE:

PERMIT PLANS

SHEET TITLE:

COVER SHEET

SHEET INDEX:

SHEET INDEX			
Sheet Number	SHEET ID	Sheet Title	SHEET REV
01	C-001	COVER SHEET	0
02	C-002	NOTE SHEET	0
03	C-003	AERIAL AND CLEARING LIMITS AND FLUCCS MAP	0
04	C-004	MASTER SITE PLAN AND TABLES	4
05	C-120	SITE PLAN - DEVIATIONS	4

REVISIONS:

REV. NO.	DESCRIPTION	DATE
1	SDP - FIRST SUBMITTAL	6/23/2022
2	RESPONSE TO CC RM	6/29/2022
3	PER CC RM DATED AUGUST 13, 2022	09/17/2022
4	DR COMMENT REVIEW AND UPDATES	11/16/2022

LEGAL DESCRIPTION:

LOTS 25, 26, 27 AND 28, BLOCK 4 AND LOTS 1, 2, 3 AND 4, BLOCK 5, GULF SHORES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 50, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

THE ABOVE DESCRIBES AN AREA OF APPROXIMATELY 64,565 SQUARE FEET OR 1.48 ACRES OF LAND.

SUBJECT TO EASEMENTS, RESTRICTIONS AND RESERVATIONS OF RECORD.

BUILDING SUMMARY:

CONSULTANTS:

PROJECT INFORMATION:

PL Number: 2001-AR-1873
FOLIO Number: 48173280007
DRI Name: N/A
SFWM ERP Number: N/A
PUD Ordinances Number: N/A
Zoning: C-4-BZO-W and RMF-6-BZO-R2/Accessory Parking Zone
Zoning (North): C-4-BZO-NC and RMF-6-BZO-R2/Accessory Parking Zone
Zoning (South): C-4-BZO-NC and RMF-6-BZO-NC
Zoning (East): C-4-BZO-NC
Zoning (West): RMF-6-BZO-R2

DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NAVD 88
(NORTH AMERICAN VERTICAL DATUM OF 1988).

DESIGN TEAM:

PROJECT MANAGER: JENNA WOODWARD, P.E.
PROJECT ENGINEER: JENNA WOODWARD, P.E.
PROJECT DESIGNER: JENNA WOODWARD, P.E.
DRAWING BY: JENNA WOODWARD, P.E.

PROJECT SURVEYOR:
PROJECT FILE INFORMATION:

FILE DATE: 6/20/22

FILE NUMBER: P-VIAG-001-001-CV

PROJECT NUMBER:

P-VIAG-001

PROFESSIONAL SEALS:

PROFESSIONAL ENGINEER: JENNA WOODWARD, P.E.

FLORIDA LICENSE NUMBER: 84212

Reason: This item has been

digitally signed and sealed

by Jenna Woodward on the

date adjacent to the seal.

Printed copies of this

document are not

considered signed and

sealed and the signature

must be verified on any

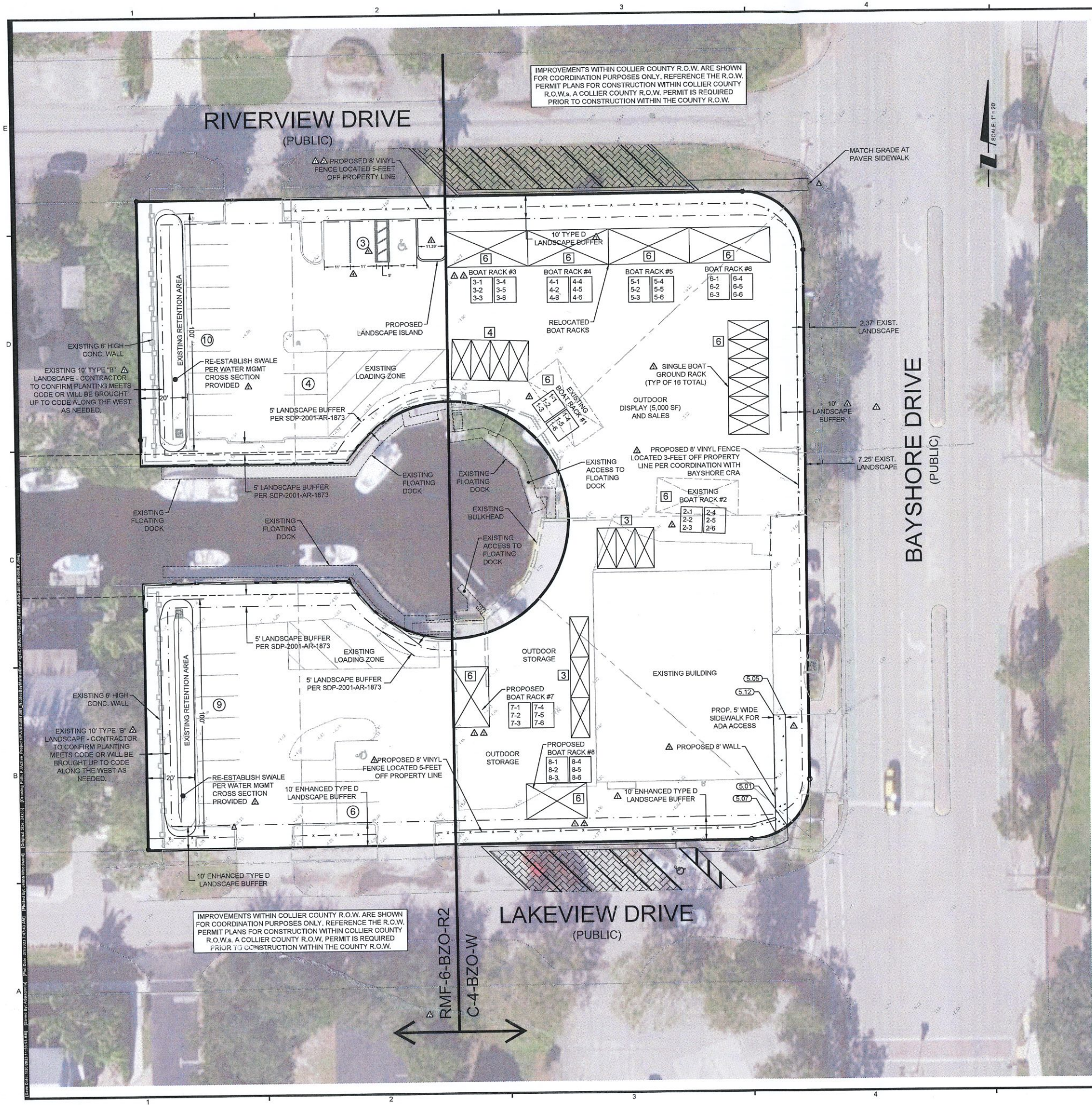
electronic copies.

Date: 2023.02.01 08:32:00 -0500

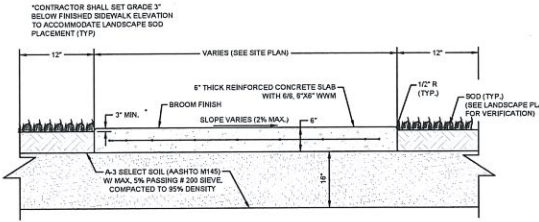
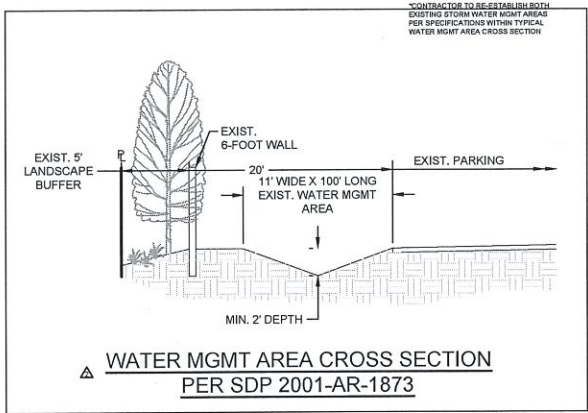
SHEET ID:

C-001

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GENERAL NOTES:



- NOTES:
- OWNER HAS THE DISCRETION OF USING PAVING BRICKS IN PLACE OF CONCRETE SIDEWALK. CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECT'S PLANS FOR PAVING BRICK FINAL LOCATIONS, THICKNESS, SIZE, COLOR, PATTERN, AND SPECIFICATIONS. PAVING BRICK SEALANT OR REPELLENT MAY BE USED AT OWNER'S DISCRETION. IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECT'S PLANS AND SPECIFICATION AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS.
 - THE PROPOSED FILL SHALL BE COMPACTED IN 12" LIFTS TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99 AND THE ENGINEER'S TECHNICAL SPECIFICATIONS.
 - SUBGRADE SHALL BE SAND, COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE, AND CROSS-SECTION, AND BE MOIST WHEN CONCRETE IS PLACED.
 - CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS.
 - SIDEWALK SHALL HAVE CONTRACTION JOINTS AT 5' INTERVALS AND AN EXPANSION JOINT EVERY 100'.
 - MAXIMUM LONGITUDINAL SLOPE FOR DISABLED ACCESSIBLE SIDEWALK SHALL BE 1:20.
 - TOP OF SOD TO BE FLUSH WITH SIDEWALK, PROVIDE POSITIVE SLOPE TO PREVENT PONDING.
 - FIBER REINFORCEMENT MAY BE SUBSTITUTED FOR WIRE MESH REINFORCEMENT AT THE DISCRETION OF THE DEVELOPER.
 - CONCRETE SIDEWALK WITHIN PUBLIC ROADWAY ROW TO BE 6" THICK (LDC SECTION 6.05.02.F.1.a) AND BE PLACED OVER A COMPACTED SUBGRADE (LDC SECTION 6.05.02.F.1.b).

TABLES

ONSITE BOAT STORAGE			
	TYPE OF STORAGE	NUMBER OF RACKS	NO. OF SPACES
BOAT STORAGE	6 SLIP STORAGE RACK	8	48 SPACES
BOAT STORAGE	SINGLE SLIP GROUND LEVEL (MOVABLE)	16	16 SPACES
BOAT STORAGE	BUILDING STORAGE	26	26 SPACES
TOTAL PROVIDED =			90 SPACES

EXISTING ONSITE PARKING TABLE			
BUILDING USE	BUILDING UNITS	REQUIRED PARKING RATIO (PER LEE COUNTY LDC)	REQUIRED NO. OF SPACES (PER LEE COUNTY LDC)
BOAT STORAGE	90 STORAGE BAYS	1 SPACE / 5 BAYS	18 SPACES
OUTDOOR DISPLAY	5,000 SF	1 SPACE / 1,000 SF	5 SPACES
TOTAL REQUIRED			23 SPACES
TOTAL PROVIDED =			32 SPACES

ACCESSIBLE PARKING REQUIREMENTS		
TOTAL PARKING PROVIDED	REQUIRED ACCESSIBLE	PROVIDED ACCESSIBLE
32	2	2

NOTE: ADA SPACE (1) ON NORTH SIDE OF PROJECT IS FOR BOAT LAUNCH ACCESS. ADA SPACE (1) ON SOUTH SIDE OF PROJECT ALONG LAKE VIEW DRIVE IS FOR OFFICE ACCESS.

SITE AREA SUMMARY			
LOCATION	CATEGORY	SQUARE FOOTAGE	PERCENTAGE OF TOTAL
IMPERVIOUS	ROOF	6,673	0.15
	SIDEWALK / PATHS	1,191	0.03
	PAVEMENT / CURB	43,494	1.00
	IMPERVIOUS (SUB-TOTAL)	51,364	1.18
PERVIOUS	OPEN SPACE	13,001	0.30
	PERVIOUS (SUB-TOTAL)	13,001	0.30
TOTAL		64,365	1.48

PENINSULA ENGINEERING

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2600 Golden Gate Parkway
Naples, Florida 34105
Phone: 239.403.6700 Fax: 239.261.1797
Email: info@pen-eng.com Website: www.pen-eng.com
Florida Engineering Certificate of Authorization #228273
Florida Landscape Certificate of Authorization #LC26000632

PROJECT:

VIAGE BAYSHORE MARINA

TITLE:

ZONING DATA SHEET AND TABLES

OWNER/CLIENT/CONSULTANT:

VIAGE MARINAS, LLC

REVISIONS:

No.	Revision:	Date:
1	SDP - FIRST SUBMITTAL	6/23/2022
2	REVISED PER CC RAI	8/2/2022
3	PER CC RAI DATED AUGUST 12, 2022	8/17/2022
4	DR COMMENT REVIEW AND UPDATES	11/14/2022

NOTES:

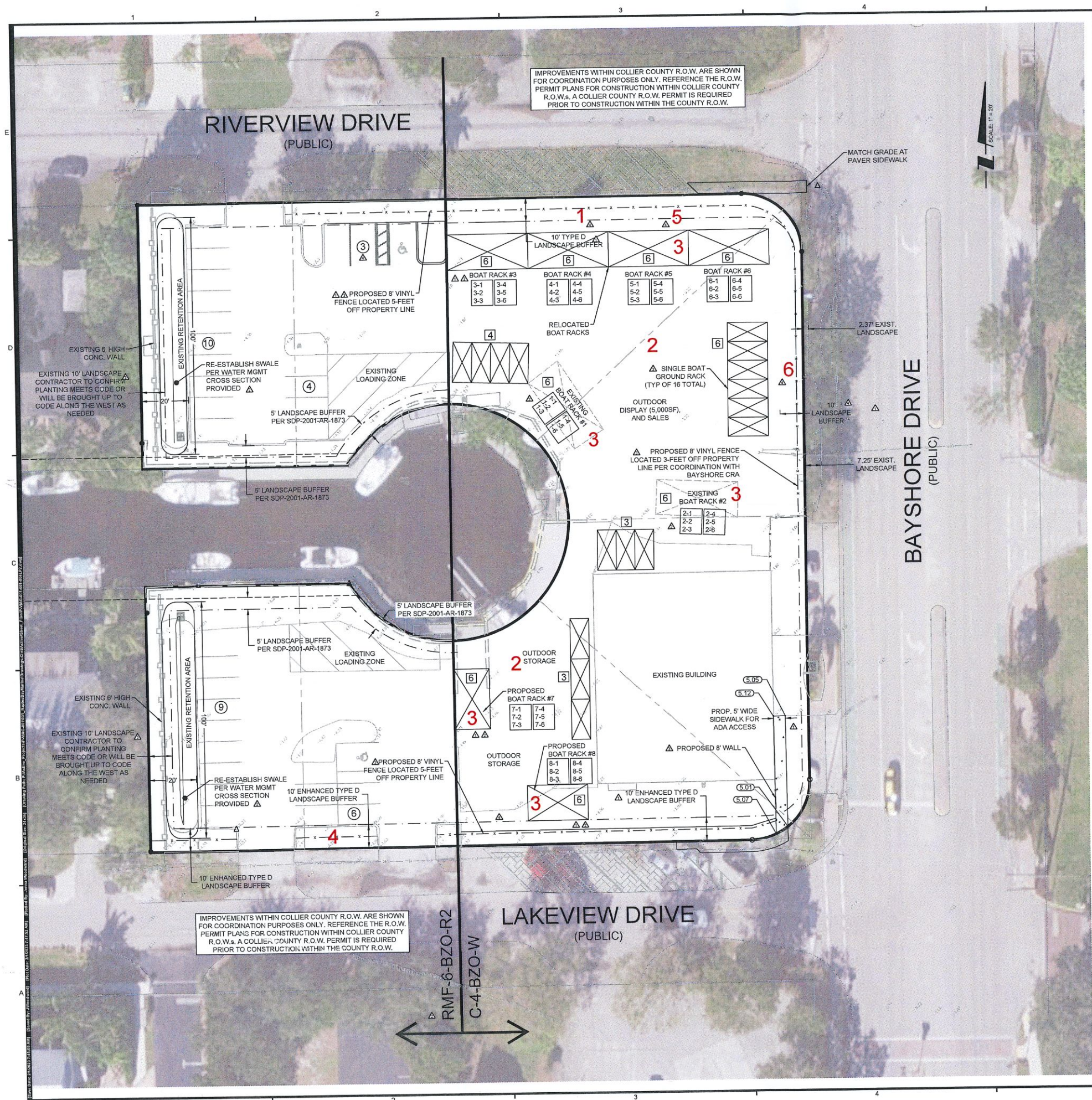
PROFESSIONAL SEALS:

PROFESSIONAL ENGINEER: JENNA WOODWARD, P.E.
FLORIDA LICENSE NUMBER: 84212

DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).

Bar Scale: 1" = 20'

SEC: 14 TWP: 50 RGE: 25
City: NAPLES County: COLLIER
Designed by: JENNA WOODWARD, P.E.
Drawn by: JENNA WOODWARD, P.E.
Date: 6/2022
Horizontal Scale: 1" = 20'
Vertical Scale: N.T.S.
Project Number: P-VIAG-001-001
File Number: P-VIAG-001-001-004LP
Sheet Number: C-004
04 of 5



DEVIATIONS:

1. DEVIATION #1 SEEKS RELIEF FROM LDC SECTION 4.02.16, C.7.C "MARINAS AND BOATYARDS," WHICH REQUIRES ALL BOAT RACKS TO BE ENCLOSED WITH A WALL OR FENCE, WITH BOATS NOT EXCEEDING THE HEIGHT OF THE ENCLOSURE, TO INSTEAD ALLOW AN ENHANCED TYPE 'D' LANDSCAPE BUFFER AND A SOLID 8' VINYL FENCE ALONG RIVERVIEW DRIVE TO SCREEN THE BOATS AND BOAT RACKS. THE ENHANCED 10' TYPE 'D' BUFFER SHALL CONSIST OF A ROW OF CABBAGE PALMS 16'-24' IN HEIGHT (CLEAR TRUNK) AT TIME OF PLANTING, A ROW OF DAHOON HOLLIES A MINIMUM OF 6' IN HEIGHT AT TIME OF PLANTING, A ROW OF GREEN BUTTONWOODS A MINIMUM 10' IN HEIGHT AT TIME OF PLANTING AND SPACED A MAXIMUM 30' ON CENTER, AND A HEDGE THAT IS A MINIMUM 36" IN HEIGHT AT TIME OF PLANTING AND SPACED 36" ON CENTER.
2. DEVIATION #2 SEEKS RELIEF FROM LDC SECTION 4.02.16, C.10.D "OUTDOOR DISPLAY, SALES OR STORAGE," WHICH PERMITS A MAXIMUM HEIGHT OF 17' ABOVE EXISTING GRADE FOR BOATS THAT ARE STORED OR ON DISPLAY, TO INSTEAD ALLOW A MAXIMUM HEIGHT OF 20' (20' BOAT RACKS AND AN ADDITIONAL 9' TO ACCOMMODATE THE HEIGHT OF BOATS).
3. DEVIATION #3 SEEKS RELIEF FROM LDC SECTION 4.02.16, C.10.E "OUTDOOR DISPLAY, SALES OR STORAGE," WHICH REQUIRES OUTDOOR DISPLAY, SALES AND STORAGE OF BOATS THAT EXCEED A HEIGHT OF 6' TO BE SETBACK AT LEAST 50 FEET FROM A PROPERTY LINE THAT IS IN VIEW OF PROPERTY ZONED OR USED FOR RESIDENTIAL PURPOSES, TO INSTEAD ALLOW A 15' SETBACK FROM RIVERVIEW DRIVE AND A 10' SETBACK FROM LAKEVIEW DRIVE.
4. DEVIATION #4 SEEKS RELIEF FROM LDC SECTION 4.02.16, C.10.G "BUFFERING STANDARDS - OUTDOOR STORAGE, DISPLAY OR SALES AREAS," WHICH REQUIRES A 10' TYPE B BUFFER FOR OUTDOOR STORAGE AREAS TO INSTEAD ALLOW AN ENHANCED 10' TYPE 'D' BUFFER ALONG LAKEVIEW DRIVE CONSISTING OF A SOLID 8' VINYL FENCE, A HEDGE THAT IS A MINIMUM 36" IN HEIGHT AT TIME OF PLANTING AND SPACED 36" ON CENTER, AND SILVER BUTTONWOODS 14' IN HEIGHT AT TIME OF PLANTING AND PLANTED 10' ON CENTER.
5. DEVIATION #5 SEEKS RELIEF FROM LDC SECTION 4.02.16, C.10.G "BUFFERING STANDARDS - OUTDOOR STORAGE, DISPLAY OR SALES AREAS," WHICH REQUIRES A 10' BUFFER CONSISTING OF TREES A MINIMUM OF 14' IN HEIGHT SPACED 30' ON CENTER AND A DOUBLE HEDGE ROW 3' IN HEIGHT AND SPACED 3' ON CENTER FOR OUTDOOR DISPLAY OR SALES AREAS, TO INSTEAD ALLOW AN ENHANCED 10' TYPE 'D' BUFFER ALONG RIVERVIEW DRIVE CONSISTING OF A SOLID 8' VINYL FENCE, A ROW OF CABBAGE PALMS 16'-24' IN HEIGHT (CLEAR TRUNK) AT TIME OF PLANTING, A ROW OF DAHOON HOLLIES A MINIMUM OF 6' IN HEIGHT AT TIME OF PLANTING, A ROW OF GREEN BUTTONWOODS A MINIMUM 10' IN HEIGHT AT TIME OF PLANTING AND SPACED A MAXIMUM 30' ON CENTER, AND A HEDGE THAT IS A MINIMUM 36" IN HEIGHT AT TIME OF PLANTING AND SPACED 36" ON CENTER.
6. DEVIATION #6 SEEKS RELIEF FROM LDC SECTION 4.02.16, C.10.G "BUFFERING STANDARDS - OUTDOOR STORAGE, DISPLAY OR SALES AREAS," WHICH REQUIRES A 10' BUFFER CONSISTING OF TREES A MINIMUM OF 14' IN HEIGHT SPACED 30' ON CENTER AND A DOUBLE HEDGE ROW 3' IN HEIGHT AND SPACED 3' ON CENTER FOR OUTDOOR DISPLAY OR SALES AREAS, TO INSTEAD ALLOW A 3' TYPE 'D' BUFFER ALONG BAYSHORE DRIVE CONSISTING OF A SOLID 8' VINYL FENCE AND A HEDGE THAT IS A MINIMUM 36" IN HEIGHT AT TIME OF PLANTING AND SPACED 36" ON CENTER, AND A LANDSCAPED AREA ALONG BAYSHORE DRIVE CONSISTING OF A ROW OF CABBAGE PALMS 16'-24' IN HEIGHT (CLEAR TRUNK) AT TIME OF PLANTING AND A ROW OF SILVER BUTTONWOODS A MINIMUM 14' IN HEIGHT AT TIME OF PLANTING TO SATISFY VEGETATION REQUIREMENTS.

PENINSULA ENGINEERING
CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL CONSULTING - LAND PLANNING - SITE PLANNING - CONSTRUCTION MANAGEMENT - OWNER REPRESENTATIVE
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Email: info@pen-eng.com Website: www.pen-eng.com
Florida Engineering Certificate of Authorization #28275
Florida Landscape Certificate of Authorization #LC26000632

VIAGE BAYSHORE MARINA

SITE PLAN - DEVIATIONS

OWNER/CLIENT/CONSULTANT:
VIAGE MARINAS, LLC

REVISIONS:

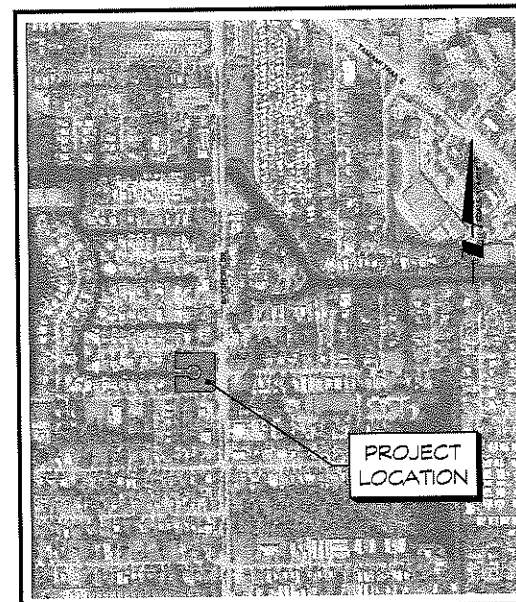
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1	SDP - FIRST SUBMITTAL	6/23/2022
2	REVISED PER CC RAI	8/5/2022
3	PER CC RAI DATED AUGUST 12, 2022	08/17/2022
4	DR COMMENT REVIEW AND UPDATES	11/14/2022

PROFESSIONAL SEALS:
PROFESSIONAL ENGINEER: JENNA WOODWARD, P.E.
FLORIDA LICENSE NUMBER: 84212

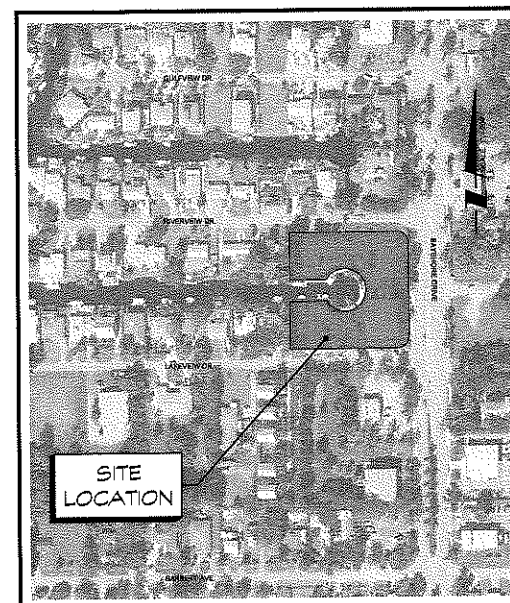
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ALL ELEVATIONS ARE BASED ON NAVD 89 (NORTH AMERICAN VERTICAL DATUM OF 1989).
Bar Scale: 1" = 20'
SEC: 14 TWP: 50 RGE: 25
City: NAPLES County: COLLIER
Designed by: JENNA WOODWARD, P.E.
Drawn by: JENNA WOODWARD, P.E.
Date: 6/2022
Horizontal Scale: 1" = 20'
Vertical Scale: N.T.S.
Project Number: P-VIAG-001-001
File Number: P-VIAG-001-001-004LP2
C-120
Sheet Number: 05 of 5

SITE DEVELOPMENT PLAN FOR VIAGE BAYSHORE MARINA

PART OF SECTION 14, TOWNSHIP 50 SOUTH, RANGE 25 EAST,
COLLIER COUNTY, FLORIDA



VICINITY MAP



LOCATION MAP

OWNER/DEVELOPER
VIAGE MARINAS, LLC
17913 SPENCER RD
ODESSO, FL 33556

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED
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AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT
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LEGAL DESCRIPTION

BUILDING SUMMARY:

NOTES:



**PENINSULA
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CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE •
ENVIRONMENTAL CONSULTING • LAND PLANNING •
SITE PLANNING • CONSTRUCTION MANAGEMENT •
OWNER REPRESENTATIVE

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Email: info@pen-eng.com Website: www.pen-eng.com
Florida Engineering Certificate of Authorization #82875
Florida Landscape Certificate of Authorization #LC26000632

PROJECT:

VIAGE BAYSHORE MARINA

PLAN TITLE:	
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ENHANCED LANDSCAPE SET

SHEET TITLE:

COVER

SHEET INDEX:

SHEET INDEX

SHEET NO.	SHEET ID	SHEET TITLE	SHEET REV
01	L-1	COVER SHEET	0
02	L-2	ENHANCED LANDSCAPE PLAN	4
03	L-3	NOTES AND DETAILS	4

[illegible]

REVISIONS:

[illegible]

DESIGN TEAM:

DRAWN BY: STEVE SAMMONS

PROFESSIONAL SEALS:

LANDSCAPE ARCHITECT: STEVE SAMMONS

L A0004204

FLORIDA LICENSE NUMBER: LA0001394

Digitally signed by Steve P Sammons

Reason: This item has been digitally signed and sealed by:

LA 1384

— ★ —
STATE

not considered signed and sealed and the signature must be verified on how electronic

FLORIDA

Date: 2023.02.01 09:11:55
-05'00"

SV		
	SET NUMBER:	SHEET ID:

01	SET NUMBER: 001	SHEET ID: 1
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01	001	L-1
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Year	Percentage of Population Aged 65 and Over
1950	7
1960	10
1970	12
1980	14
1990	16
2000	18
2010	20
2020	21
2030	22
2040	22
2050	22

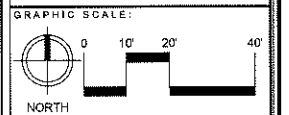
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VIAGE BAYSHORE MARINA

SHEET TITLE:
ENHANCED LANDSCAPE PLAN

PREPARED FOR:
VIAGE MARINAS, LLC

REVISIONS:

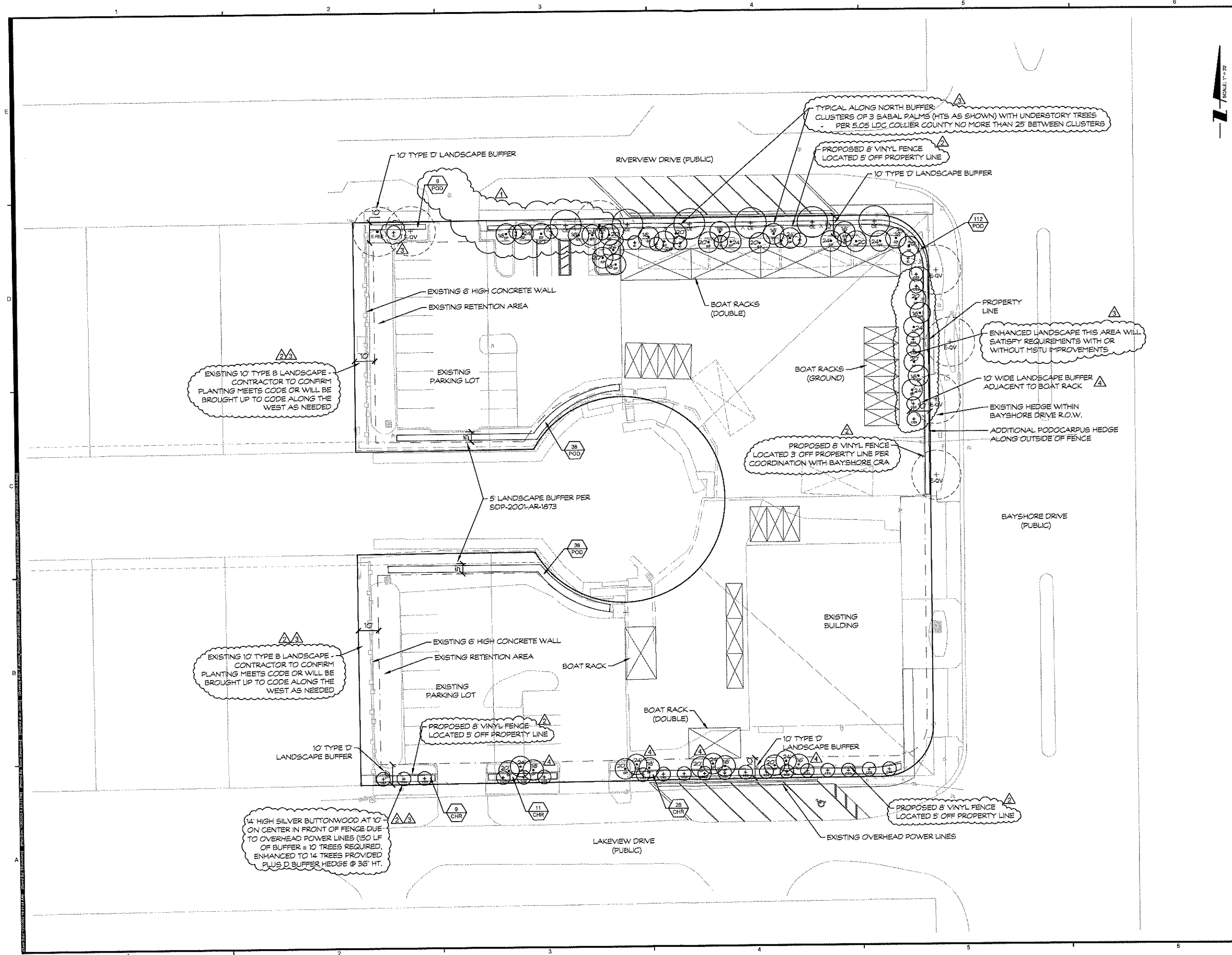
No.	Revision	Date
1	ADDITIONAL ENHANCED LANDSCAPE	6/5/2022
2	PER CC 8/4 DATED 8/22/22 AND UPDATE SOUTH PLANTINGS	8/24/2022
3	PER COUNTY COMMENTS DATED 10/10/22	10/20/2022
4	PER COUNTY COMMENTS DATED 10/20/22	10/20/2022



VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.

PROFESSIONAL SEALS:
 LANDSCAPE ARCHITECT: STEVE SAMMONS
 FLORIDA LICENSE NUMBER: LA0001304

Designed by: STEVE SAMMONS
 Drawn by: STEVE SAMMONS
 Date: JUNE 2022
 Horizontal Scale: 1" = 20'
 Project Number: P-VIAG-001-001
 File Number: P-VIAG-001-001-L2
L-2
 Sheet Number: 02 of 3



PROJECT:

**VIAGE
BAYSHORE
MARINA**

SHEET TITLE:

NOTES AND DETAILS

PREPARED FOR:

VIAGE MARINAS, LLC

REVISIONS:

No.	Revision	Date
1	ADDITIONAL ENHANCED LANDSCAPE	6/8/2022
2	PER CC RAI DATED 6/15/22 AND UPDATE SOUTH PLANTINGS	6/24/2022
3	PER COUNTY COMMENTS DATED 10/10/22	11/21/2022
4	PER COUNTY COMMENTS DATED 10/26/22	11/21/2022

GRAPHIC SCALE:

VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.

PROFESSIONAL SEALS:
LANDSCAPE ARCHITECT: STEVE SAMMONS
FLORIDA LICENSE NUMBER: LA0001394

Designed by: STEVE SAMMONS
Drawn by: STEVE SAMMONS
Date: JUNE 2022
Horizontal Scale:
Project Number: P-VIAG-001-001
File Number: P-VIAG-001-001-L3
Sheet Number: 03 of 3



Code Minimum Plant List

Trees and Palms

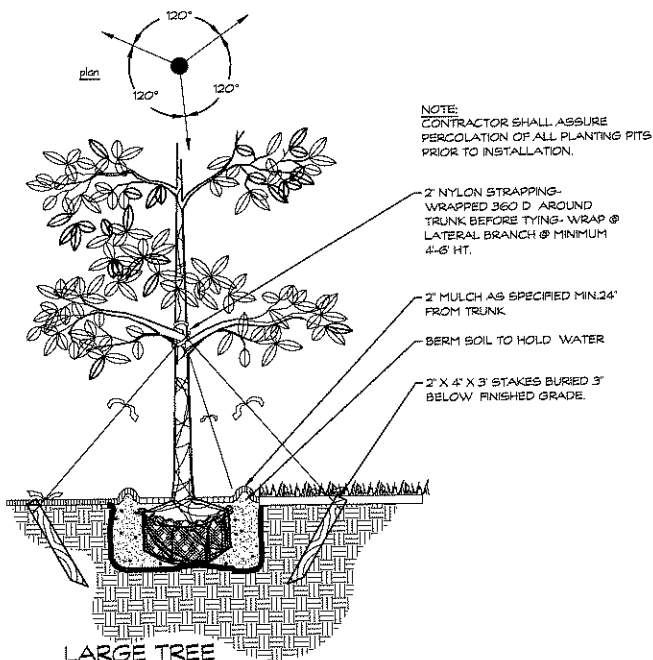
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
6	CE	Conocarpus erectus	Green Buttonwood	10' ht / 1-3/4" cal (12" above grade) / 4' spr minimum	Y
25	CES	Conocarpus erectus sericeus	Silver Buttonwood	14' ht	Y
12	IC	Ilex Cassine	Dahoon Holly	6' ht	Y
5	E-QV	Quercus virginiana	Live Oak	Existing - see plans	Y
2	E-REX	Roystonea elata	Royal Palm	Existing - see plans	Y
42	SP	Sabal palmetto	Cabbage Palm	14 @ 18', 14 @ 20', 14 @ 24' CT as shown	Y

Shrubs

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
64	CHR	Chrysobalanus icaco	Cocoplum	36" ht. min. / 36" OC	Y
197	POD	Podocarpus macrophyllus 'Maki'	Podocarpus	36" ht. min. / 36" OC	N

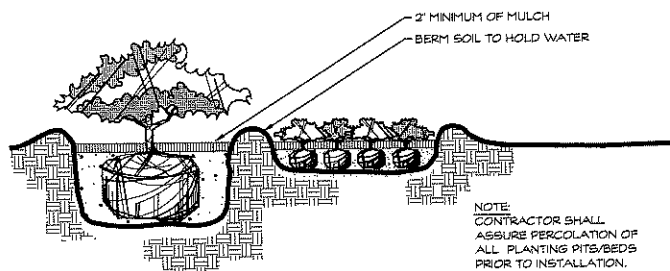
Note: Mulch to match existing on site.

Note: All new plantings shall be irrigated with an automatic system and rain sensor.



LARGE TREE

A1 SCALE = N.T.S.



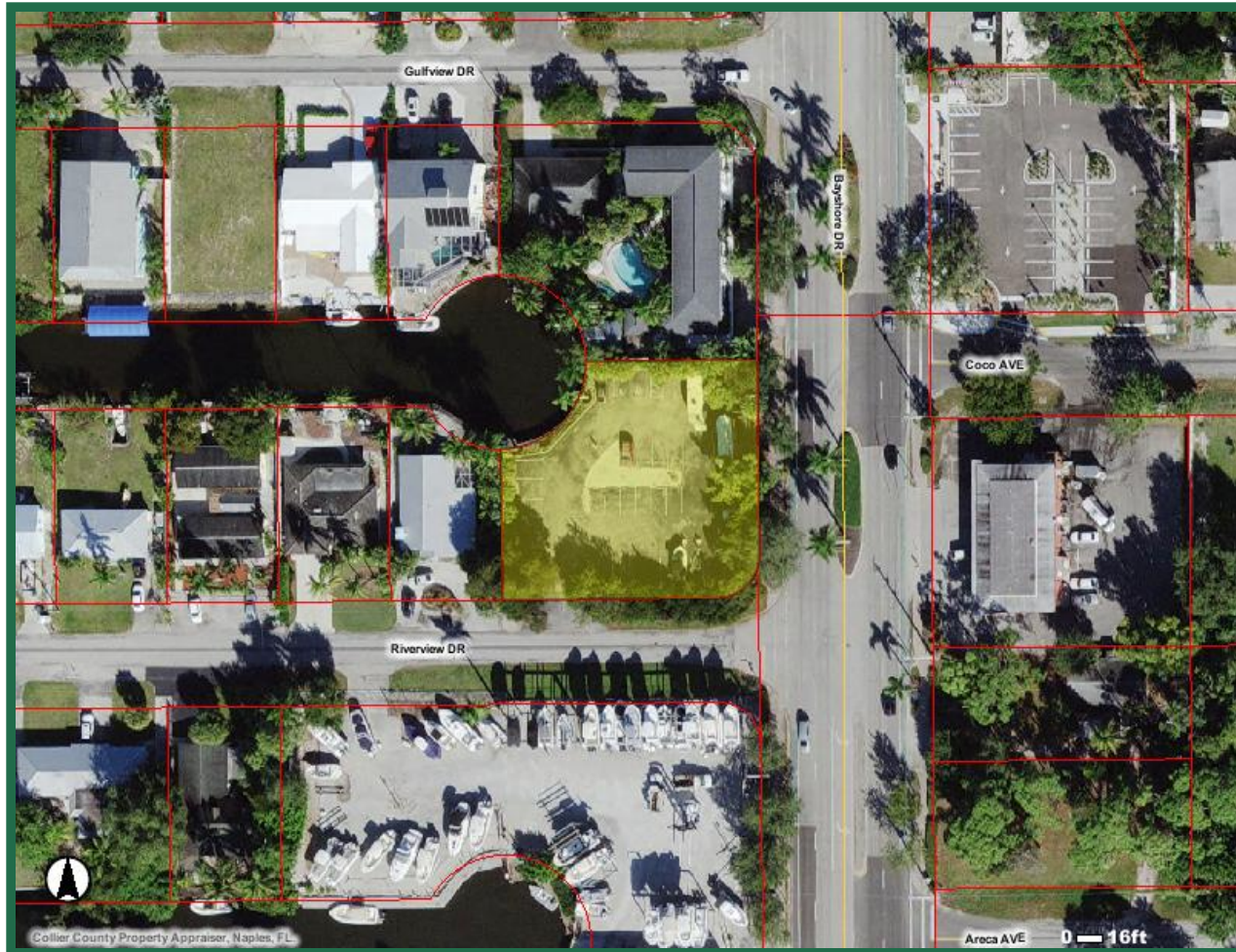
SHRUB AND GROUND COVER

A1 SCALE = N.T.S.

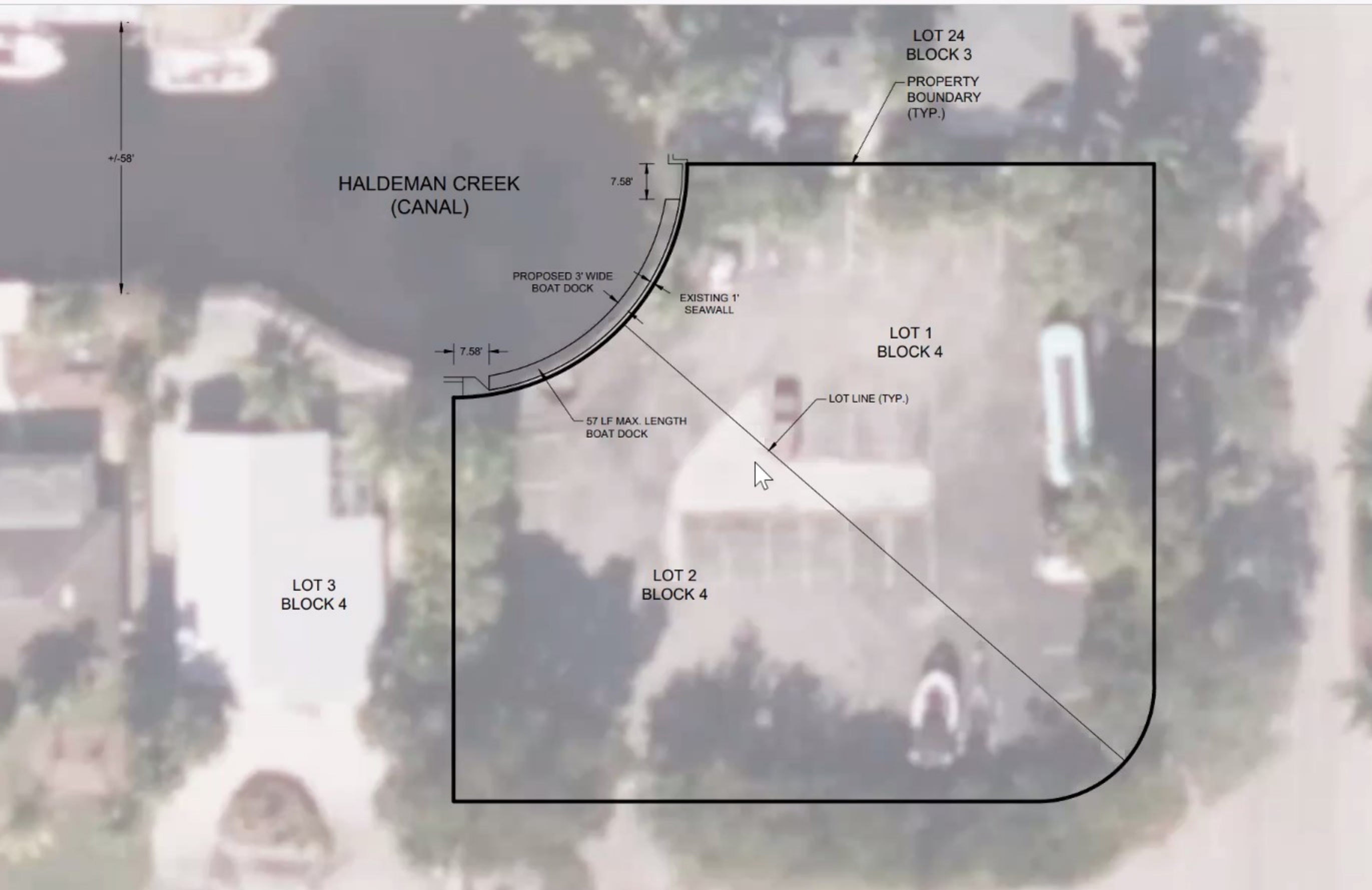
Collier County Property Appraiser Property Aerial

Attachment 4-Item 7a

Parcel No	48172280008	Site Address <u>*Disclaimer</u>	2865 RIVERVIEW DR	Site City	NAPLES	Site Zone <u>*Note</u>	34112
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[Open GIS in a New Window with More Features.](#)



LOT 24
BLOCK 3

PROPERTY
BOUNDARY
(TYP.)

HALDEMAN CREEK
(CANAL)

7.58'

PROPOSED 3' WIDE
BOAT DOCK

EXISTING 1'
SEAWALL

LOT 1
BLOCK 4

7.58'

57 LF MAX. LENGTH
BOAT DOCK

LOT LINE (TYP.)

LOT 3
BLOCK 4

LOT 2
BLOCK 4

+/- 58'



Bayshore Inn & Docks



2865 Riverview Dr



shirley garcia



Auto-saved 3 minutes ago

New feature ▾

Present



PL 20230002255

Front View



Rear View

Bayshore Gateway Triangle CRA Division Priority Projects Update District 4

March 1, 2023

TABLE OF CONTENTS

District 4- Priority Projects

Project	Slide #
17 acres Pedestrian Connection to Sugden Regional Park	3
Access Management Plan	4
Bayshore Stormwater Phase I	5
Gateway Triangle Stormwater Phase I	6
Gateway Triangle Neighborhood Initiative	7
Del's Corner	8
Hamilton Avenue Beautification Project	9
Bayshore MSTU Short Term Maintenance	10
Holly Avenue Assessment	11

17 Acre Pedestrian Connection to Sugden Regional Park

District #: 4
Project #: 50208

Funding Source: CRA
Project Manager: Tami Scott
Director: Debrah Forester, Director CRA

Project Scope: Design & permit pedestrian connection from Bayshore Drive to Sugden Regional Park. Tasks include:
Task 1 - Development of Conceptual Plan/Site Development Plan
Task 2 - Stormwater Analysis/Investigative Services
Task 3 - Construction Plans and Permitting
Task 4 - Bidding Services
Task 5 – Post Design Services

Design Costs: \$344,932.30
Construction Costs (Estimated): \$2,000,000 EST
Architect/Engineer: Stantec Consulting Services, Inc.
Board Approval Date: 5/24/22
Notice to Proceed Date: 6/10/22
Completion of Tasks 1-4 – May 16, 2023
Estimated Construction Date: 60% OPC provided 12-26-22

Bayshore Gateway Triangle CRA – 17.89 Acres Location Map



Milestones/Challenges to date: 3-1-2023

- December 13, 2022 staff directed by BCC to evaluate a southern route in addition to the central route and to evaluate parking opportunities.
- Community meeting held on January 21, 2023 to review the concept plan and alternative southern pathway and parking.
- Recommendation scheduled to be presented to the BCC on March 14, prior to finalizing the 100% plans.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	60%
Construction	0%

Access Management Plan

District #: 4
Project #: 50174

Funding Source: CRA and Bayshore Beautification MSTU
Project Manager: Tami Scott
Director: Debrah Forester

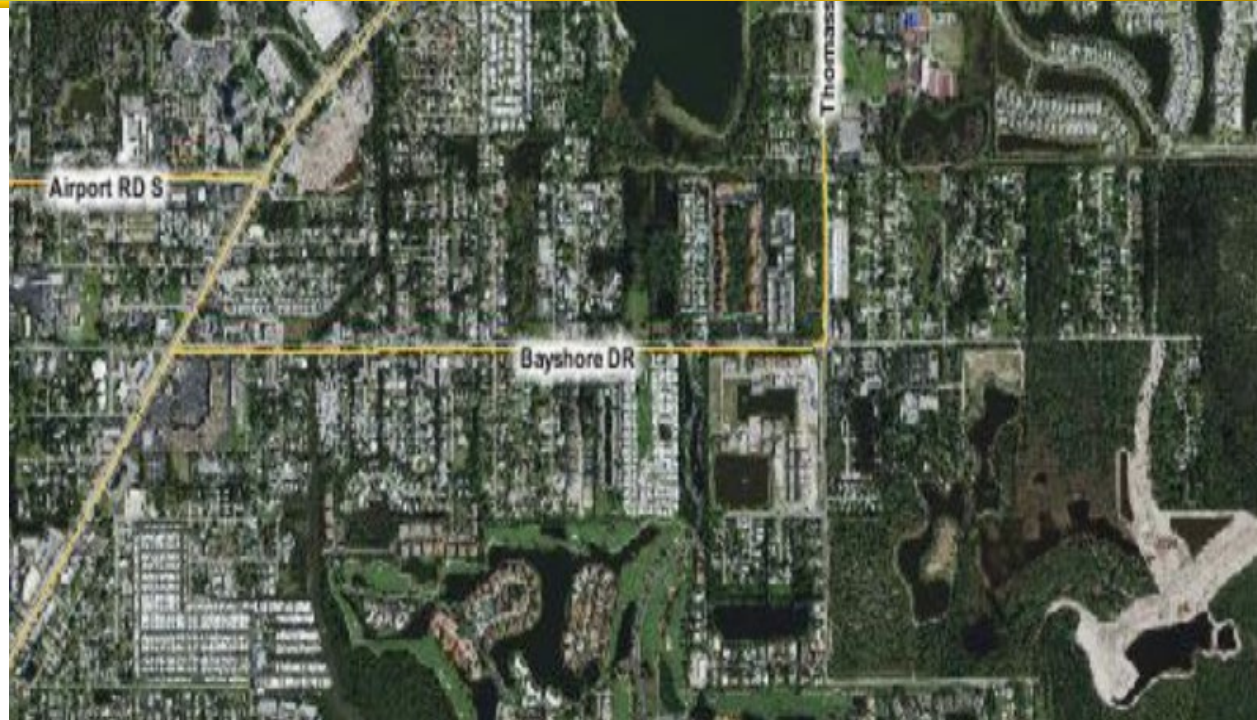
Project Scope: Access Management and Traffic Calming for Bayshore Drive.
US41 down to Thomasson Drive on Bayshore Drive
East/West sides of the roadway.

Design Costs: \$165,350.00
Architect/Engineer: Stantec Consulting Services, Inc.
General Contractor: N/A

Notice to Proceed Date: Design 11/29/2021 and
Kick off meeting held 1-20-2022
Change Order #1 approved.
Change order #2 pending approval.

Estimated Completion Date with CO#1: 3-6-2023
Change order #2 is being prepared to allow for an
addition 60 days.

New Completion Date with CO#2- 6-3-2023



Milestones/Challenges to date: 3-1-2023

- Transportation department requested a meeting with CMO to discuss project.
- Staff is scheduled to meet in March to discuss options for the corridor
- Presentation to Advisory Board tentatively scheduled for Spring 2023
- Presentation to BCC tentatively scheduled for June 2023

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	90%
Construction	0%



Bayshore Gateway Triangle CRA • Bayshore Beautification MSTU
Haldeman Creek MSTU

Bayshore Stormwater Phase 1

Commissioner District: 4
Project #: 50203

Funding Source: Bayshore CRA

Lead Project Manager: Richard Orth, Capital Improvements

CRA Project Manager: Tami Scott

Director: Debrah Forester

Project Scope: Stormwater study and design for Becca, Weeks, Pine.

Construction Budget: TBD

Architect/Engineer: Blot Engineer

Design Notice to Proceed Date: 11/16/21

Change Order approved -CO#1

Total Contract as of November 28, 2022: \$337,132

Contract Days – 1,320 includes post design services.

CRA Gateway Area 1 Pine Becca Week

Task -1 Utility Locates & Soft Digs-336 days

Task- 2 Survey- 336 days

Task- 3 Site Assessment-189 days

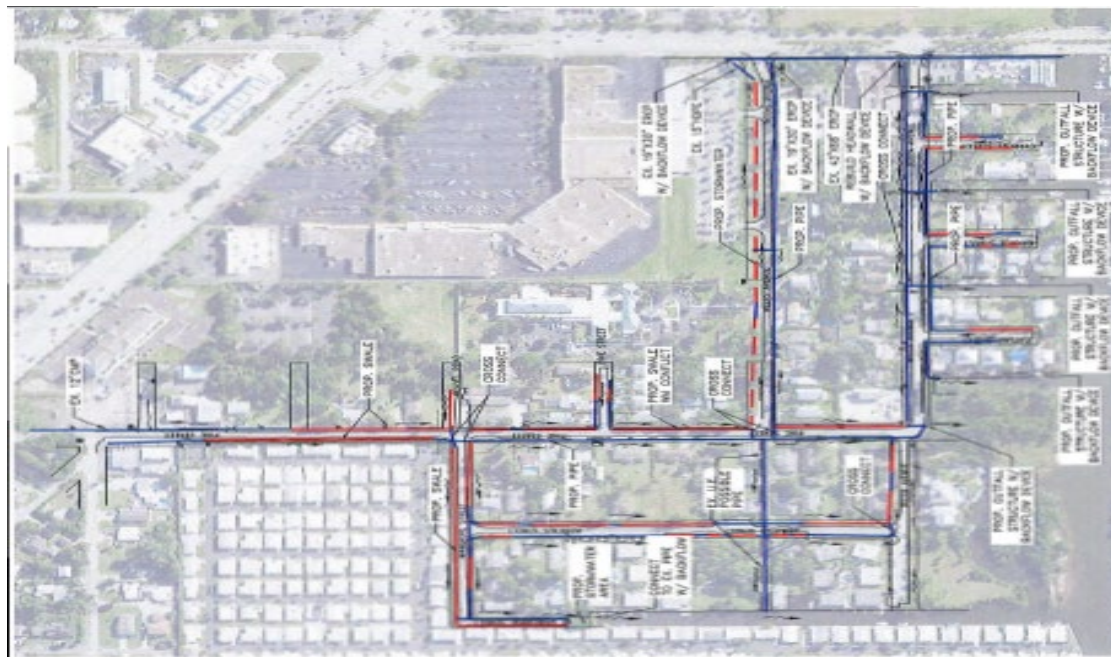
Task- 4 Design (& Task 5 Conflict Res.)- 392 days

Task- 6 Permitting- 266 days

Task -7 Bidding and Construction- 364 days

Task- 8 Project Closeout- 84 days

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	60%
Construction	0%



Milestones/Challenges to date: 3-1-2023

- Blot Engineering is close to providing the 60% drawings to county staff for review.
- General comment on realign weeks is that it is a much better design, however, will likely cost more to realign road and bury the 18" RCP. Change order #1 has been approved for the realignment of Weeks Avenue

Gateway Triangle Stormwater Phase 1

Commissioner District: 4
Project #: 50203

Funding Source: Bayshore CRA
Lead Project Manager: Richard Orth, Capital Improvements
CRA Project Manager: Tami Scott
Director: Debrah Forester

Project Scope: Bayside Street and Linwood Stormwater Improvements

Design Costs: \$257,542
Construction Budget: TBD
Architect/Engineer: Kissinger, Campo and Assoc
Status: work order and PO has been opened 1-13-2023
Design Notice to Proceed Date: January 16, 2023



Milestones/Challenges to date: 3-1-2023

- Engineer Firm Selection via Rotation process
- Work order completed and PO opened Kissinger, Campo and Assoc has started the work.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	20%
Construction	0%

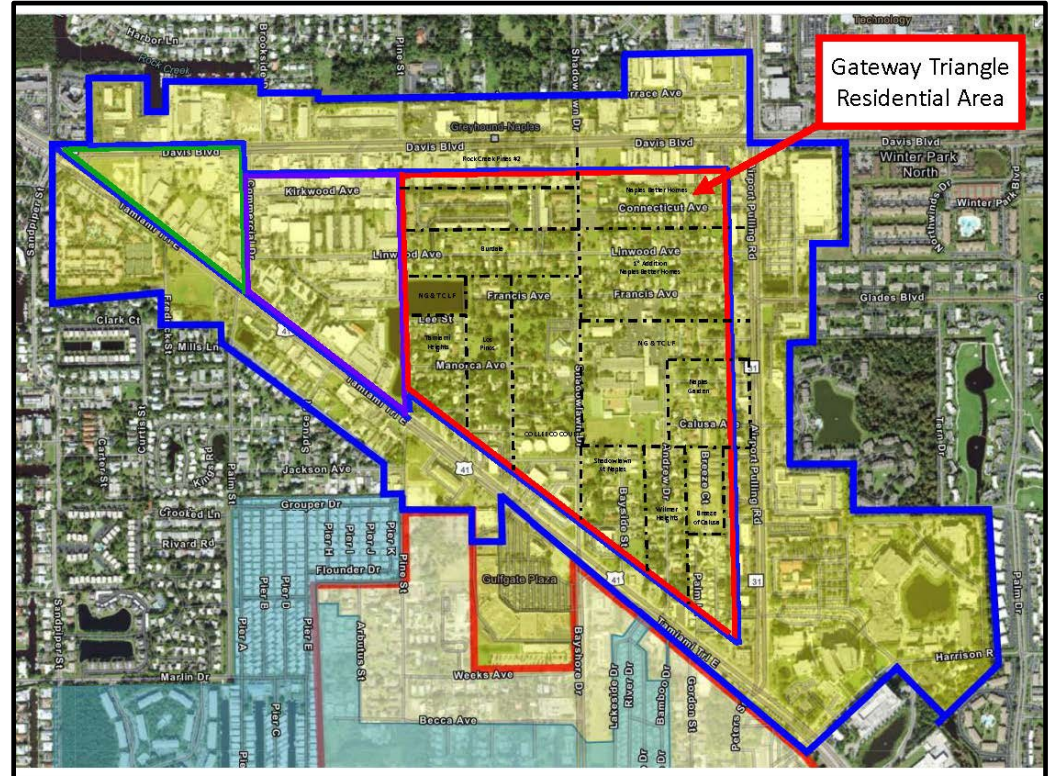
Gateway Triangle Master Plan

Commissioner District: 4
Project #: 50203

Funding Source: Bayshore CRA
CRA Project Manager:
Director: Debrah Forester

Project Scope: Develop master plan for the Gateway Triangle neighborhood to further implement the BGTCRA Redevelopment Plan.

Design Costs: \$170,000 (estimate)
Architect/Engineer: Pending approval
Status: Drafting scope of work
Design Notice to Proceed Date: TBD



Milestones/Challenges to date: 2-3-2023

- Area will be subdivided into neighborhoods/districts
- Scope of work drafted.
- CRA Advisory Board requested evaluation of Direct Select vs RFP process. On February 9th, Advisory Board recommended Direct Select. Staff will evaluate options.
- Community meeting held February 7th with residential neighborhood to gather input. Second meeting is scheduled for March 23rd at the East Naples Baptist Church, 1697 Shadowlawn Drive.

DESCRIPTION OF WORK	% COMPLETE
Procurement	10%
Design	0%
Construction	0%

Commissioner District: 4

Project #: 50206

Funding Source: Bayshore CRA

Project Manager: Debrah Forester

Director: Debrah Forester

Phase 1A- Demolition Completed

Demolition Budget: \$142,600

Final Completion: 10-6-2022

Phase 1B – Clearing

Project Scope: Remove exotics on Lot 4

Budget: \$17,325

Purchase Order opened January 24, 2023

Phase 2- Future Use Analysis

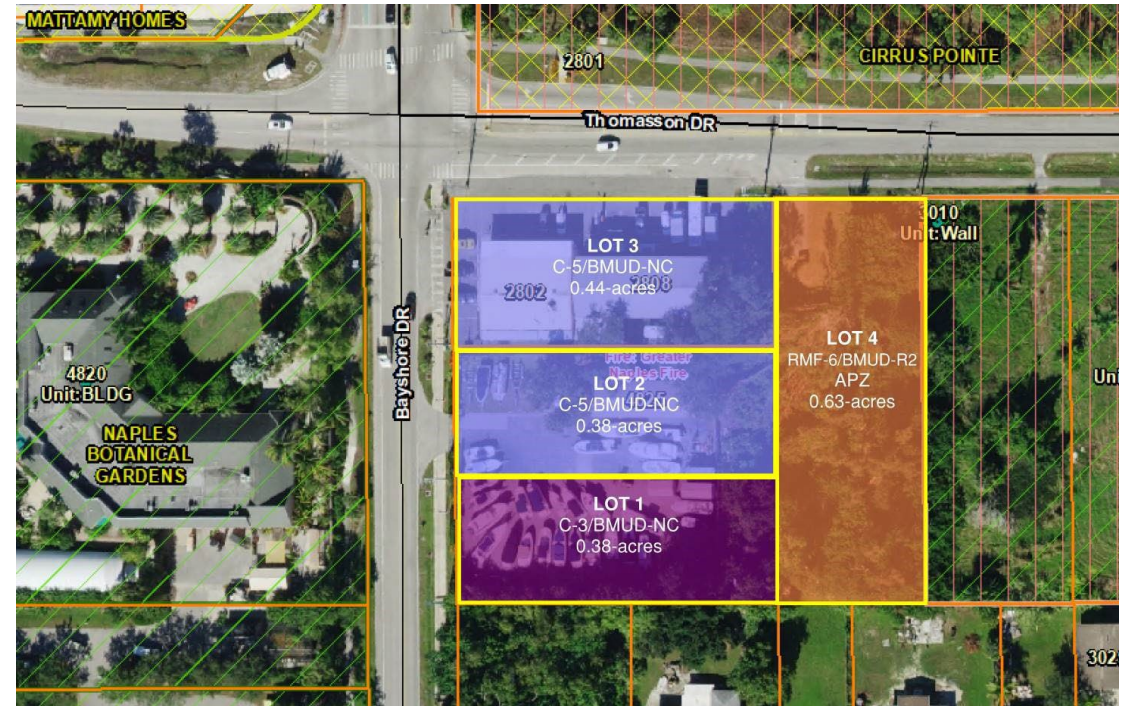
Project Scope- Public Input and site analysis – development of alternative development site plans based on public input.

Purchase Order: \$24,673

Design Notice to Proceed Date: February 1

Letter of Intent to Purchase Received December 12, 2022

CRA Advisory Board Presentation – January 12, 2023



Milestones/Challenges to date: 3-1-2023

Phase 2 - Community Engagement and Assessment – Stantec Consulting Scope of work approved by Advisory Board on December 6. Notice to Proceed pending approval from Procurement. Community visioning charette tentatively scheduled for mid-February.

Charette: Community visioning session held on February 25, 2023. Consensus from participants was to redevelop the corner with some type of neighborhood commercial or mixed-use development. Results will be presented to the Advisory Board in April.

DESCRIPTION OF WORK	% COMPLETE
Procurement	10%
Design	20%
Construction	0%

Hamilton Avenue Beautification

Commissioner District: 4

Project #: 50171

Funding Source: Bayshore MSTU/Parks & Recreation

Project Manager: Olivier Surreau

Project Scope: Construct 34 boat trailer parking spaces, multi-use path, streetlighting and landscape, new roadway, and sidewalks along Hamilton Avenue.

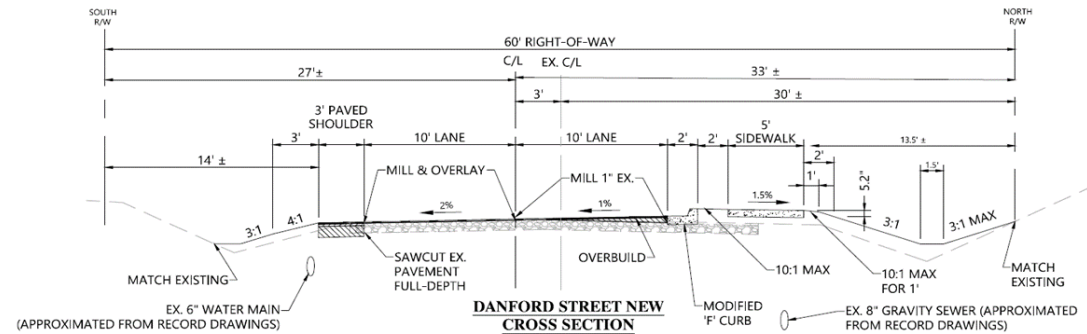
Construction Budget: \$3,246,304.75

Architect/Engineer: RWA

Design Notice to Proceed Date: 1-10-2022

Contractor : Haskins Construction

CEI Services: Johnson Engineering



Milestones/Challenges to date: 3-1-2023

- Project is complete, the Bayshore MSTU will take over the lawn maintenance.
- MSTU staff will monitor Parks and Recreation regarding installing signage and trash cans along parking area.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Design	100%
Construction	100%

Bayshore MSTU On-Going Maintenance

District #: 4

Project #: Bayshore MSTU

Funding Source: Bayshore Beautification MSTU

Project Manager: Tami Scott

Director: Debrah Forester

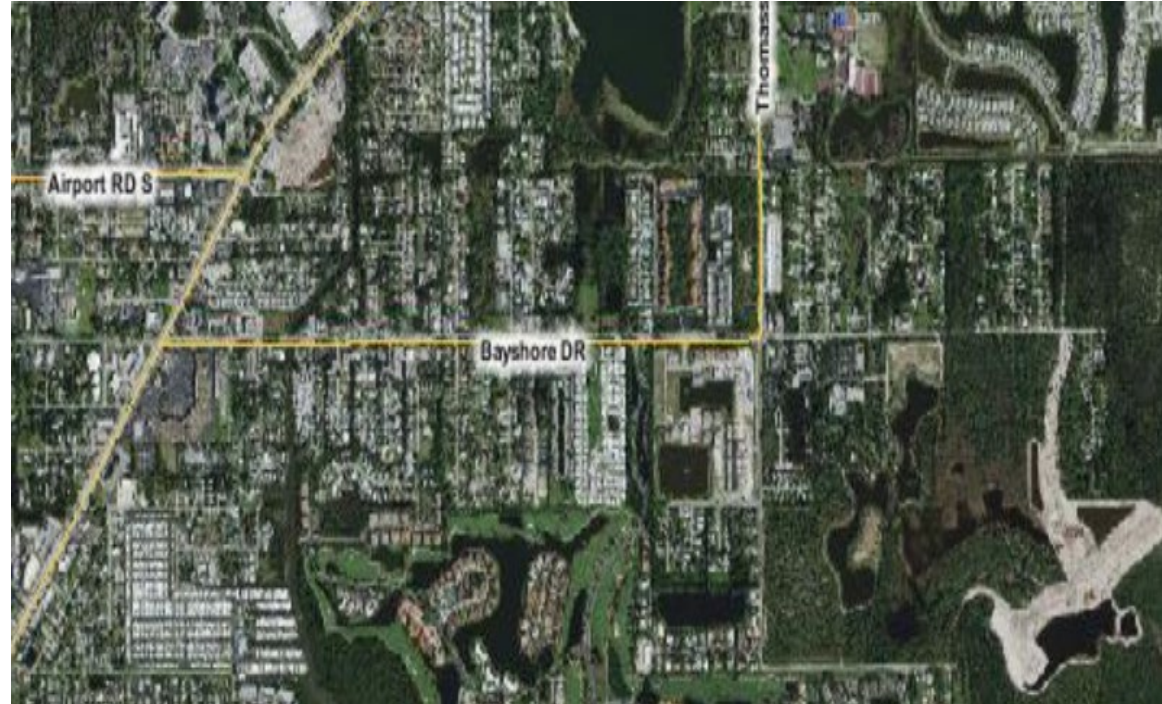
Project Scope: Coordinated maintenance and repairs within the Thomasson Drive, Bayshore Drive and Hamilton Avenue right-of-ways.

Landscape contractor – A&M

FY23 Annual Maintenance Contract: \$153,220.82

FY23 Annual Maintenance Incidentals Budget: \$70,000

Notice to Proceed Date: Nov. 12, 2019 (3-year contract)



Milestones/Challenges to date: 2-3-2023

- Median 23 - Staff received a quote for new ground cover in Median on Bayshore Drive \$8,000. MSTU approved the quote on 12-14-2022. Waiting on FDOT project to be completed prior to replanting, staff is working on PO.
- Royal Palm trimming completed
- Large section of sidewalk to be replaced by RM on Bayshore, damaged from canopy Trees. MSTU staff met with RM on 1-11-2023 repairs are scheduled.
- January 11 MSTU Advisory Board approved the expenditure to remove the trees.

DESCRIPTION OF WORK	% COMPLETE
Procurement	100%
Ongoing Maintenance	25%

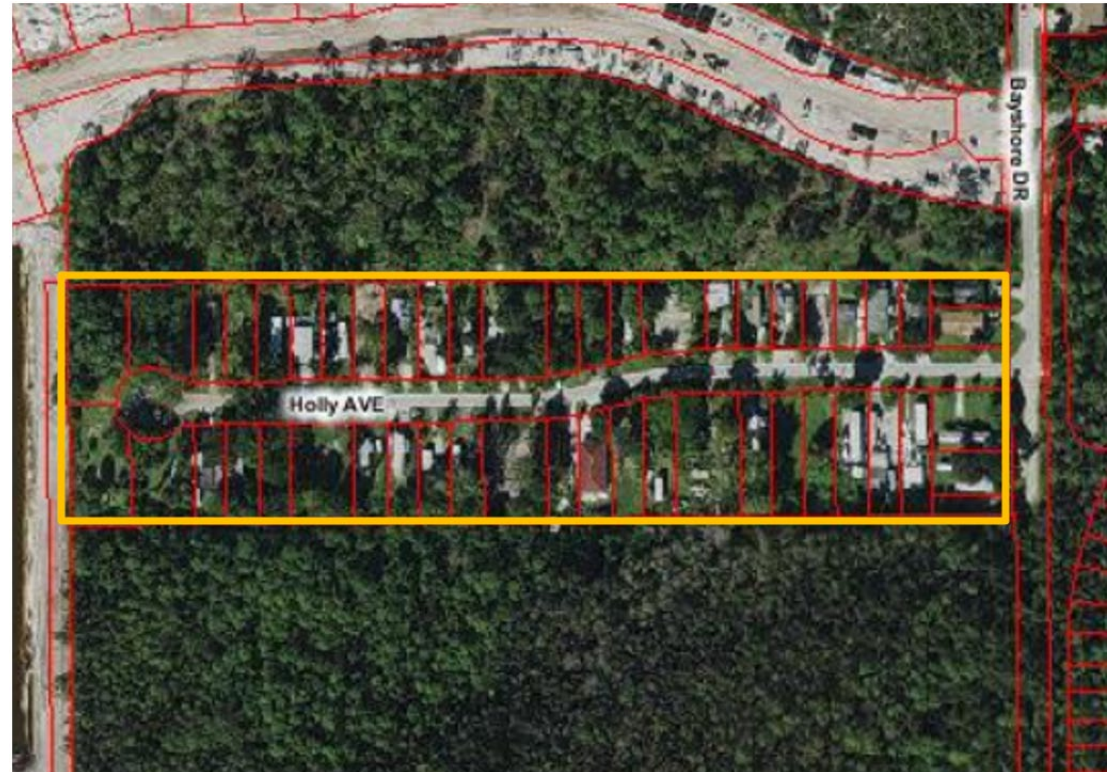
Holly Avenue Assessment

Commissioner District: 4
Project #: 50203

Funding Source: Bayshore CRA
CRA Project Manager:
Director: Debrah Forester

Project Scope: Neighborhood assessment of potential opportunities for life quality enhancement to further implement the BGTCRA Redevelopment Plan.

Design Costs: TBD
Architect/Engineer: TBD
Status: Coordination of meetings to initiate assessment
Design Notice to Proceed Date: TBD



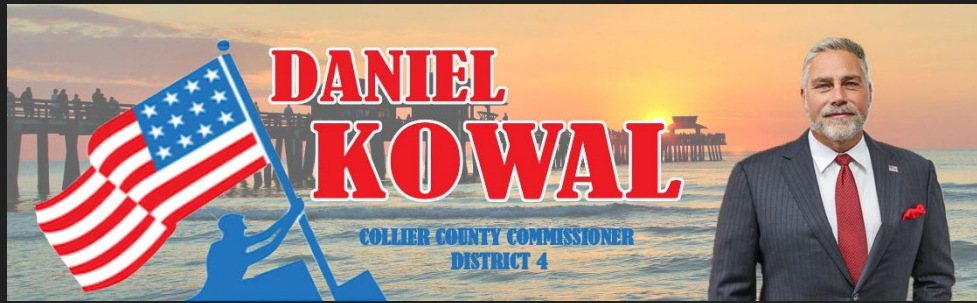
Milestones/Challenges to date: 3-1-2023

- Neighboring Gathering held February 11th
- CRA staff is putting together a proposal for a complete street's renovation, lighting, landscaping, stormwater based on input received from the neighborhood meeting.
- Follow-up meeting with community will be scheduled following final scope of work to review for input.

DESCRIPTION OF WORK	% COMPLETE
Procurement	0%
Design	0%
Construction	0%

Fund 164 Haldeman Creek MSTU

Fund / Comm Item	BCC Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/CI			8,812.50	154,288.04-	145,475.54
*** 164 HALDEMAN CREEK MSTU			8,812.50	154,288.04-	145,475.54
** REVENUE Sub Total	1,043,700.00-	1,052,112.50-		170,416.61-	881,695.89-
* REVENUE - OPERATING Su	192,000.00-	192,000.00-		170,416.61-	21,583.39-
311100 CUR AD VALORE	188,600.00-	188,600.00-		164,314.52-	24,285.48-
361170 OVERNIGHT INT				4,405.71-	4,405.71
361180 INVESTMENT IN	3,400.00-	3,400.00-		1,608.85-	1,791.15-
361320 INTEREST TAX				87.53-	87.53
* CONTRIBUTION AND TRANS	851,700.00-	860,112.50-			860,112.50-
486600 TRANS FROM PR					
486700 TRANS FROM TA					
489200 CARRY FORWARD	861,300.00-	861,300.00-			861,300.00-
489201 CARRY FORWARD		8,412.50-			8,412.50-
489900 NEG 5% EST RE	9,600.00	9,600.00			9,600.00
** EXPENSE Sub Total	1,043,700.00	1,052,112.50	8,812.50	16,128.57	1,027,171.43
* OPERATING EXPENSE	21,300.00	29,712.50	8,812.50	400.00	20,500.00
631400 ENG FEES		8,412.50	8,412.50		
634970 INDIRECT COST	500.00	500.00	250.00	250.00	
634980 INTERDEPT PAY	500.00	500.00			500.00
634999 OTHER CONTRAC	20,000.00	20,000.00			20,000.00
645100 INSURANCE GEN	300.00	300.00	150.00	150.00	
* TRANSFERS	11,300.00	11,300.00		11,300.00	
911870 TRANS TO 187	11,300.00	11,300.00		11,300.00	
* TRANSFER CONST	6,500.00	6,500.00		4,428.57	2,071.43
930600 PA BUDGET TR	1,800.00	1,800.00		642.28	1,157.72
930700 TC BUDGET TR	4,700.00	4,700.00		3,786.29	913.71
* RESERVES	1,004,600.00	1,004,600.00			1,004,600.00
993000 RESV FOR CAPI	1,004,600.00	1,004,600.00			1,004,600.00



FROM THE DESK
OF COMMISSIONER
DANIEL KOWAL

CONVERSATIONS WITH THE COMMISSIONER

10:30 AM - 12:00 PM
THURSDAY, MARCH 9,
2023

Please join me in this open forum gathering to learn more about what is currently happening in Collier County and to share your concerns with a member of Collier County government.

EAST NAPLES
COMMUNITY CENTER

3500 Thomasson Dr, Naples, FL 34112

RESERVE YOUR SEAT TODAY!

There will be limited seating, so please RSVP by emailing or calling my Executive Coordinator, Sarina Francis.

Sarina.Francis@colliercountyfl.gov

[239-252-8604](tel:239-252-8604)